

CITY OF GREEN BAY NEW HOME CONSTRUCTION



2ND EDITION

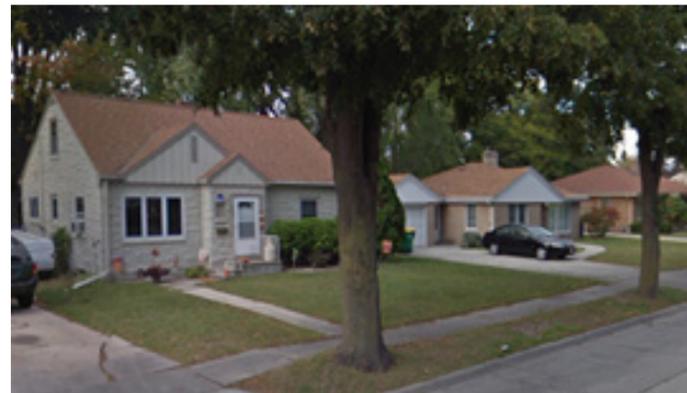
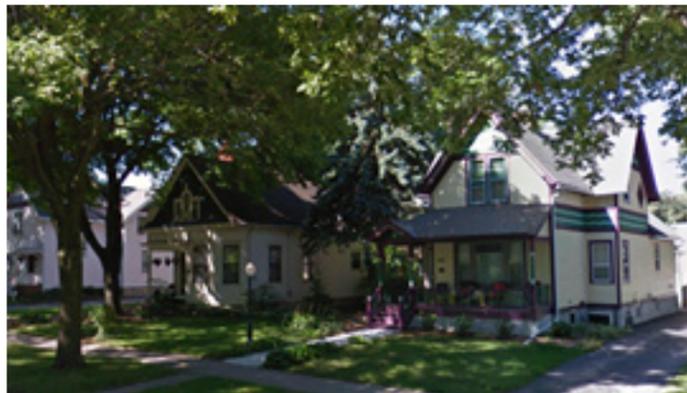
PRODUCED BY THE CITY OF GREEN BAY, WISCONSIN
DEPARTMENT OF COMMUNITY AND ECONOMIC DEVELOPMENT
FOR THE REDEVELOPMENT AUTHORITY OF THE CITY OF GREEN BAY

WELCOME

The Redevelopment Authority of the City of Green Bay would like to WELCOME you to one of our existing neighborhoods. Whether a lifelong resident of Green Bay or relocating from afar, we are here to offer you the opportunity to build the home of your dreams. The Redevelopment Authority offers the following house plans for FREE when utilizing the New Homes in Your Neighborhood program. This program offers FREE lots and GRANT money for the construction of new, single-family, owner-occupied housing.

These plans have been strategically designed to fit on the various infill lots that the Redevelopment Authority has to offer throughout Green Bay's many neighborhoods. Although physically fitting a newly constructed house on a narrower infill lot can pose a challenge, finding an appropriate design that will fit with the character of the existing neighborhood can be a challenge all in itself. These plans have been created by carefully studying Green Bay's existing neighborhoods and incorporate modern amenities with traditional style. No matter the neighborhood, there is a plan for you!

If none of these plans meet your needs, no worries. The New Homes in Your Neighborhood program allows you to submit your own plan for approval. Having cohesive architecture is important, so take a drive and familiarize yourself with our beautiful neighborhoods. Here are some photos for inspiration as you work toward designing your dream home.



HOUSING AND NEIGHBORHOOD PATTERNS

Typically, the age of a neighborhood will influence how that neighborhood looks. Older neighborhoods have narrower lots and buildings that are closer the street. This is characteristic of the neighborhoods closer to the downtown of a community. However, as policies and styles change over time, newer neighborhoods will tend to incorporate different architectural techniques and lot dimensions. It is important to recognize the type of neighborhood where you plan to build and choose a plan accordingly. The plans in this edition have a place in almost all of Green Bay.

HOUSING ELEMENTS

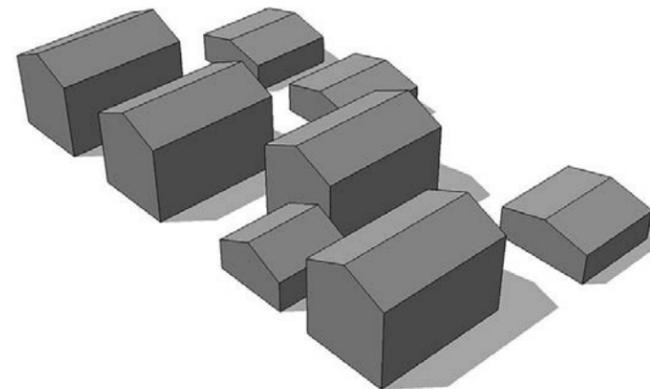
Most of the designs in this book include the same number of bedrooms and other features, however, the floor plans vary depending on the neighborhood context. It is important to observe the characteristics of the neighborhood. Some neighborhoods have blocks of houses with front porches or a certain roof line. Some neighborhoods may only have one-story houses. Finding the appropriate elements to include on your new home is important. The plans in this book complement the looks of older, traditional neighborhoods while meeting the needs of modern preferences. Each plan includes a full basement with egress windows to provide the option of future expansion, whether that is a finished family room or an additional bedroom.

NEIGHBORHOOD PATTERNS

Neighborhood character is an important aspect of this book. The design of the home is just the first step. Home facades and front yards contribute to the aesthetics of the public realm, and those should complement the pattern of the existing neighborhood. A relationship with the street and neighboring buildings should be considered. This can be achieved in new construction through consistent setbacks and door, porch, and garage placements.

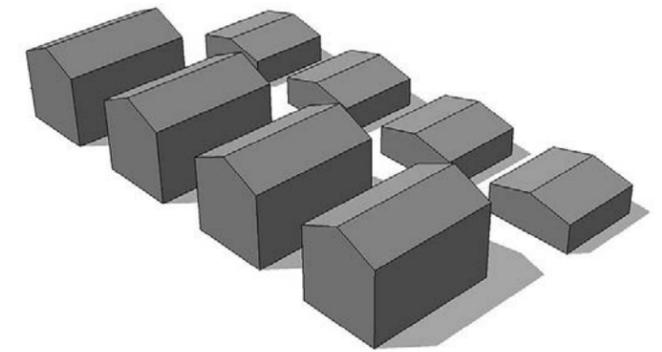
There is a map included on each plan in this book that serves as a guide to which neighborhoods are recommended for each design.

AVOID

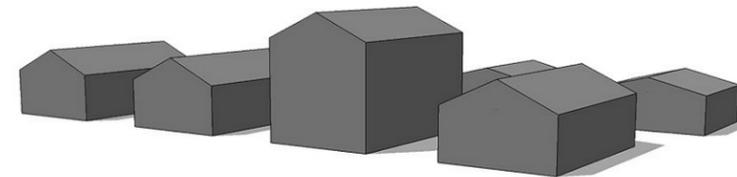


POOR GARAGE PLACEMENT

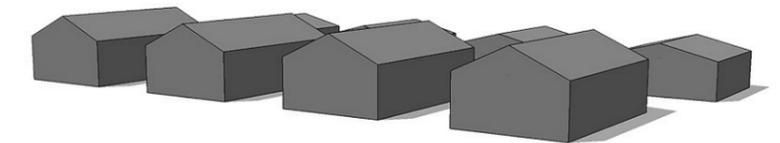
CHOOSE



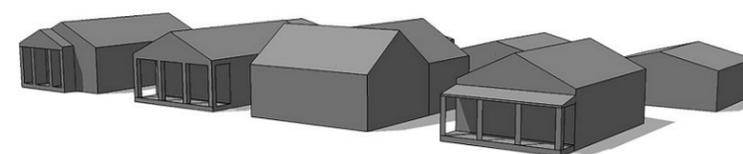
CONSISTENT GARAGE PLACEMENT



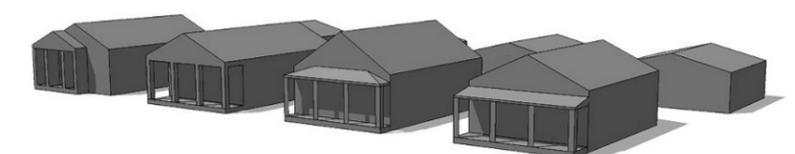
JUMP IN BUILDING HEIGHT



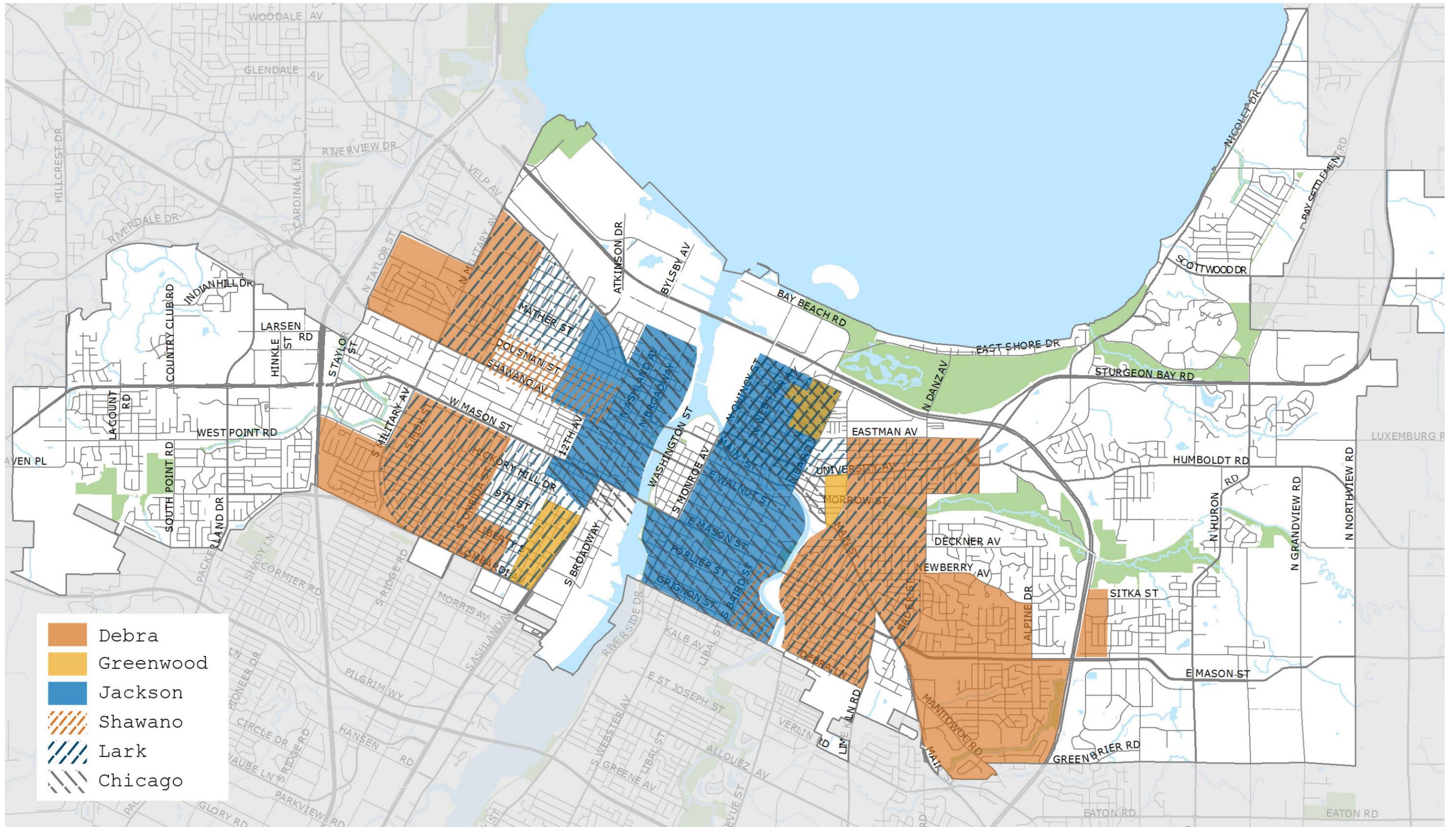
CONSISTENT HEIGHT



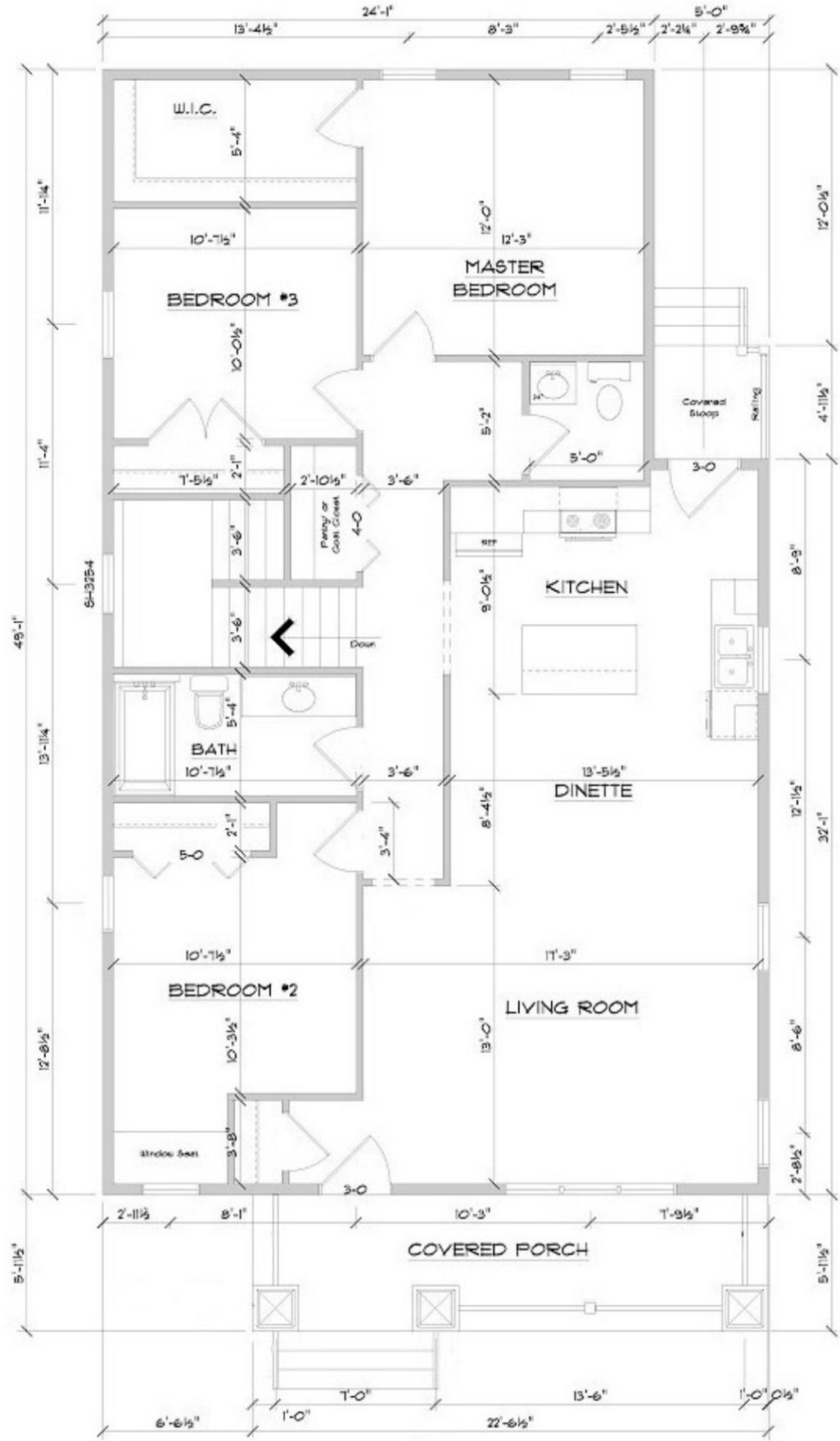
INCONSISTENT ENTRIES



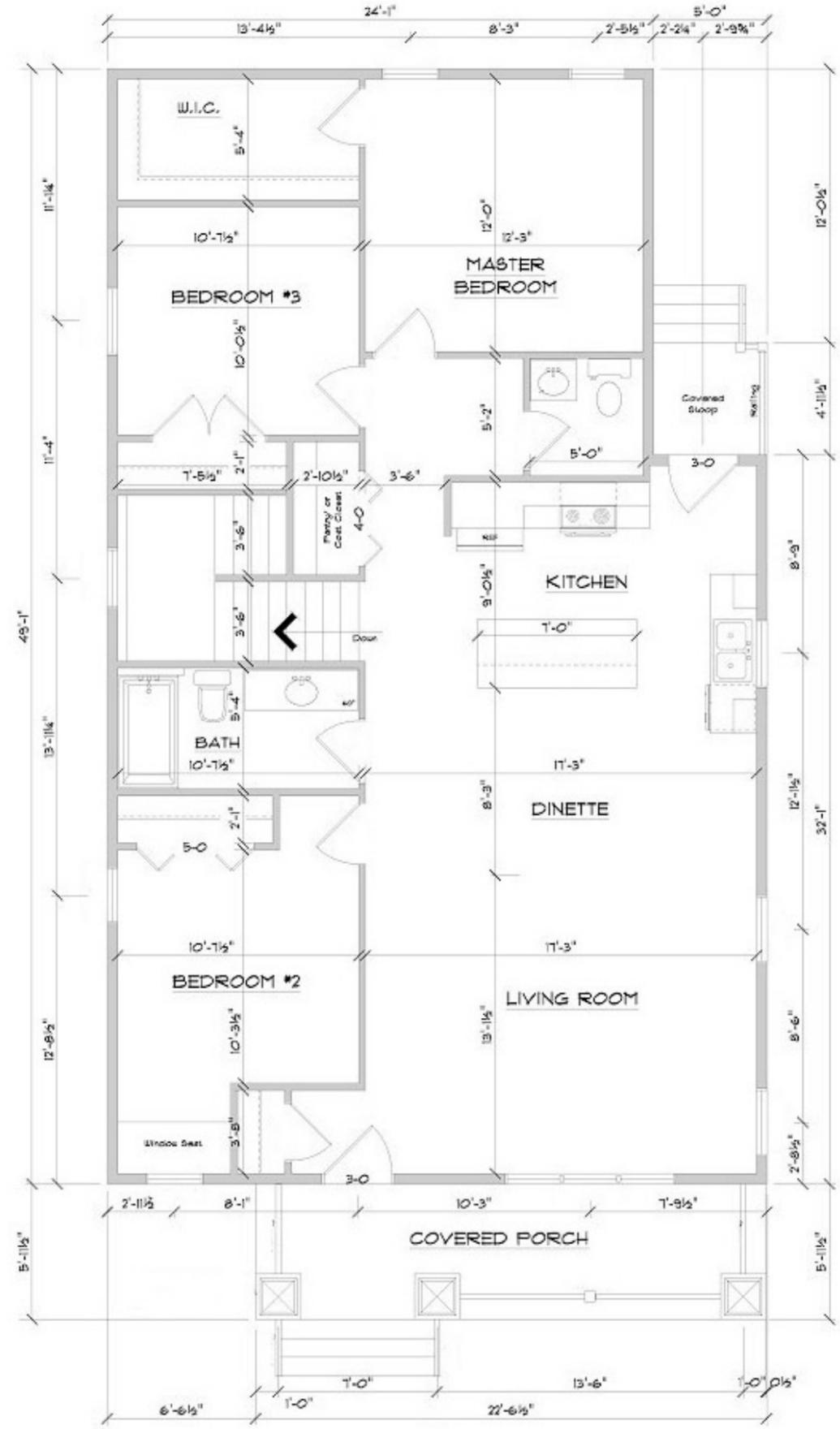
COMPLEMENTING ENTRIES



OPTION 1



OPTION 2



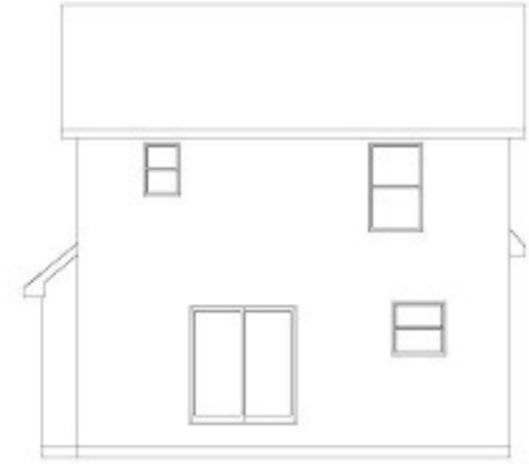
SHAWANO

TWO (2) STORIES
THREE (3) BEDROOMS
SQUARE FOOTAGE: 1,203 SF
FIRST FLOOR: 623 SF
SECOND FLOOR: 580 SF

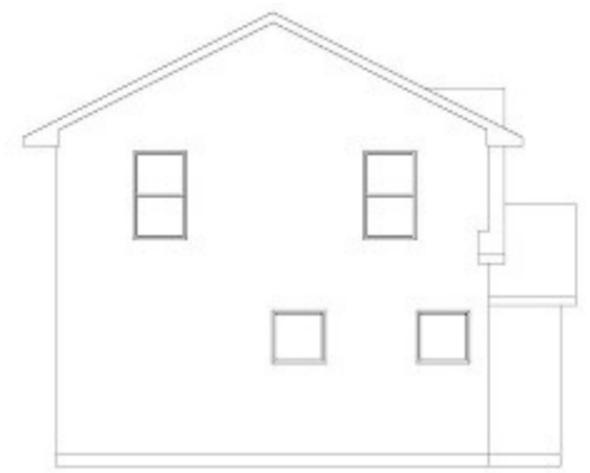
The Shawano house is reminiscent of the houses built in the neighborhoods along Shawano Avenue in the 1940s. It is an attractive, comfortable home that will fulfill many families' needs.



RIGHT ELEVATION



REAR ELEVATION

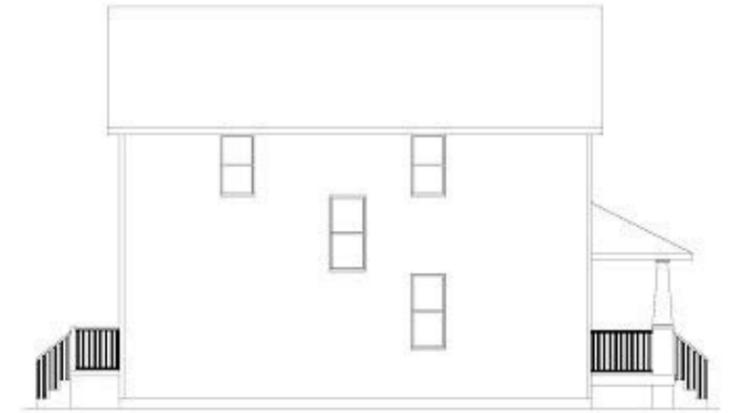


LEFT ELEVATION

CHICAGO

TWO (2) STORIES
THREE (3) BEDROOMS
SQUARE FOOTAGE: 1,504 SF
FIRST FLOOR: 752 SF
SECOND FLOOR: 752 SF

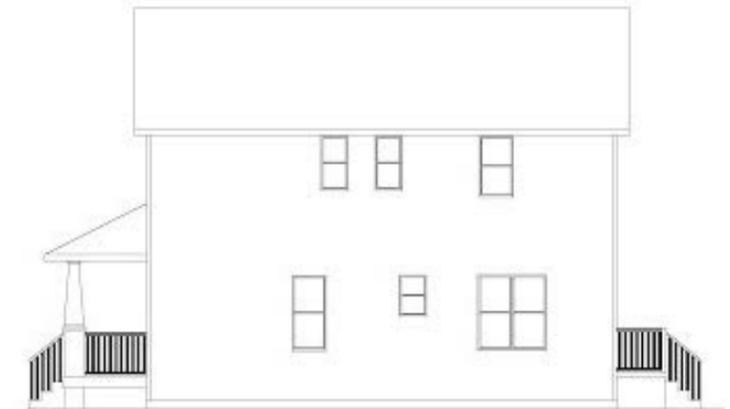
This traditional home has three covered front porch, roof, window, and trim options for a Queen Anne, Craftsman, and Classical Revival style of your choice.



LEFT ELEVATION

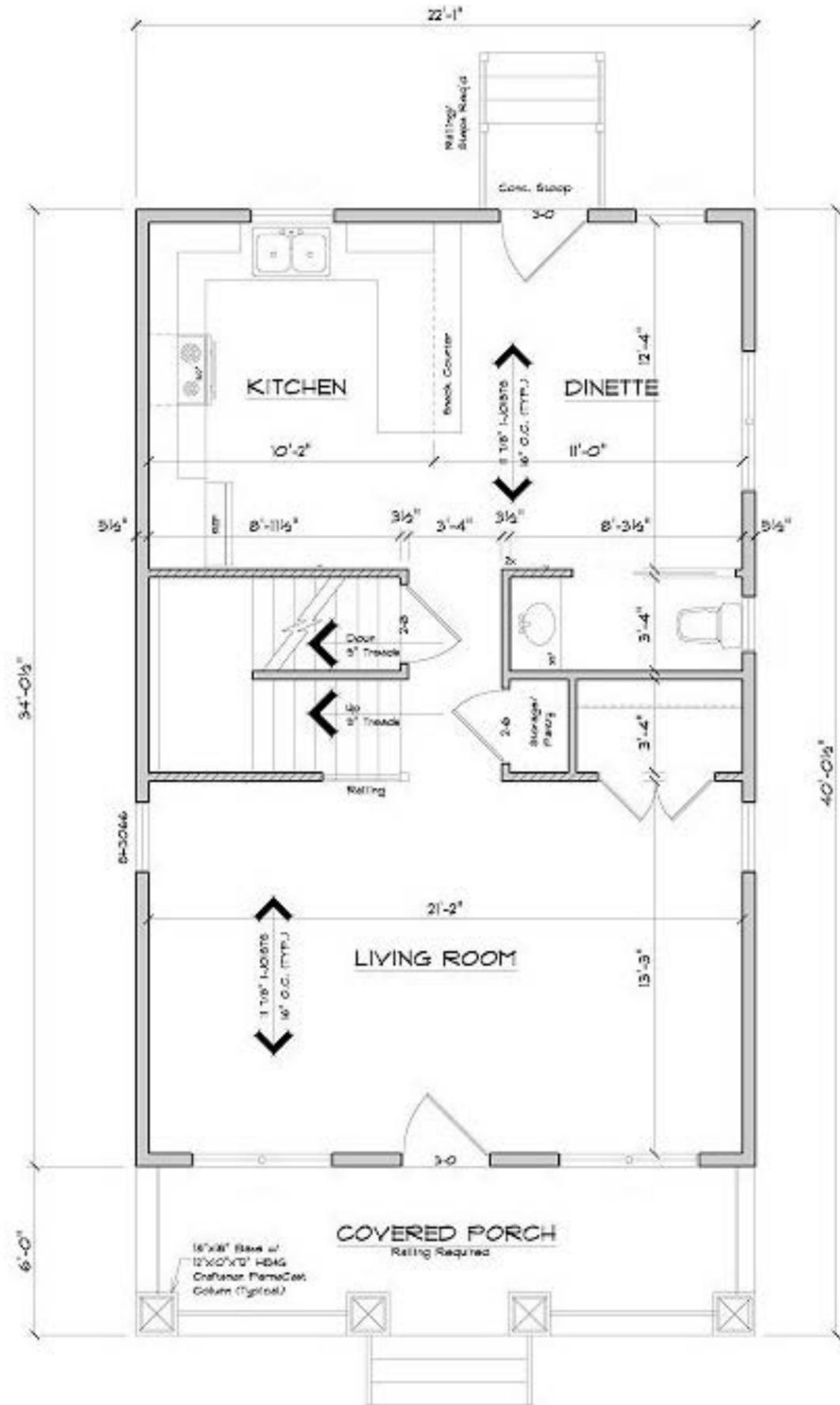


REAR ELEVATION

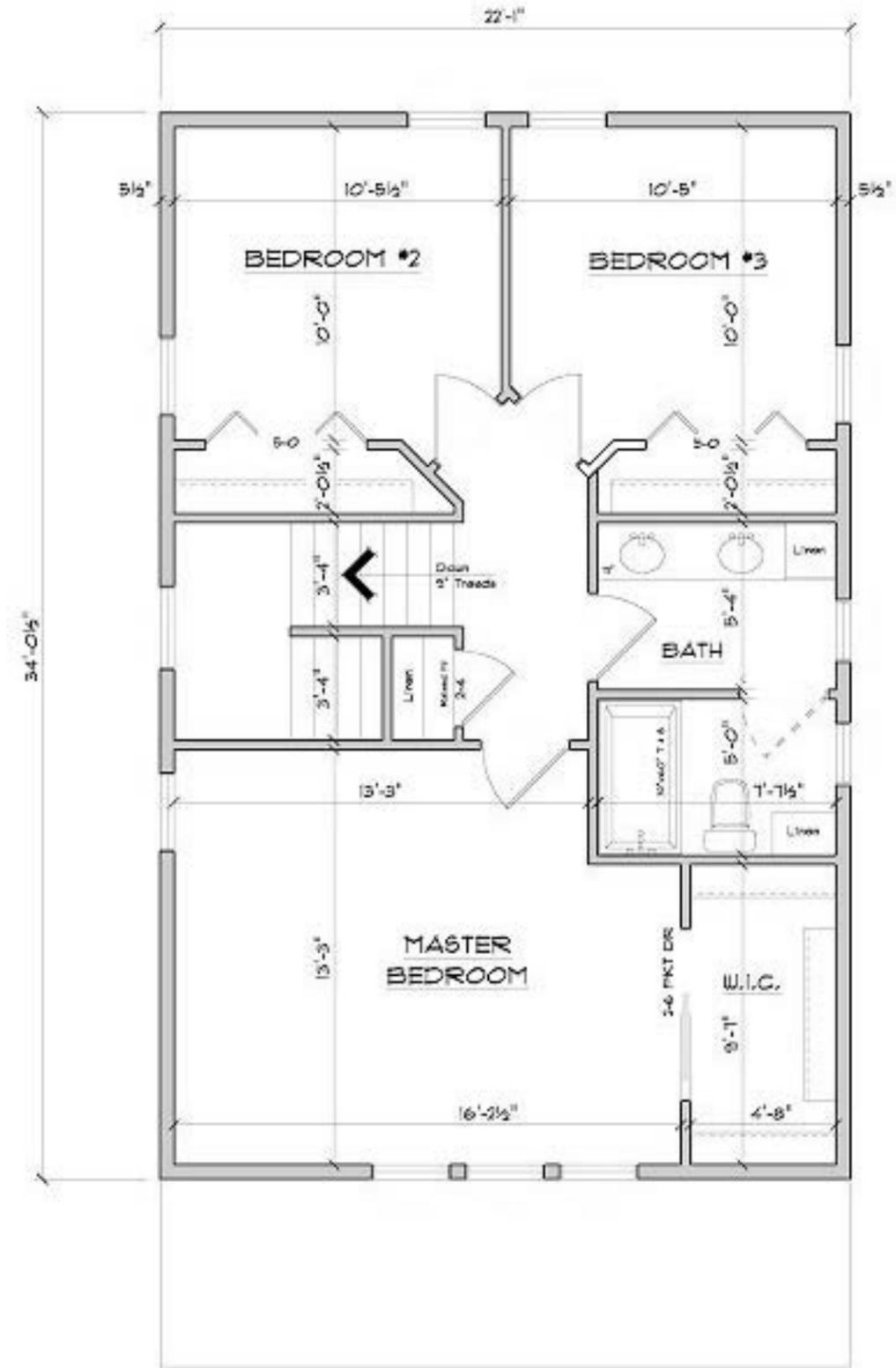


RIGHT ELEVATION

FIRST FLOOR



SECOND FLOOR



CHICAGO CORNER LOT

TWO (2) STORIES
THREE (3) BEDROOMS
SQUARE FOOTAGE: 1,532 SF
FIRST FLOOR: 766 SF
SECOND FLOOR: 766 SF

This Chicago design with bay windows and a wrap-around porch adds appeal to a corner lot house from both streets. The window, porch, and trim details are interchangeable, just as the other Chicago design.



RIGHT ELEVATION



REAR ELEVATION

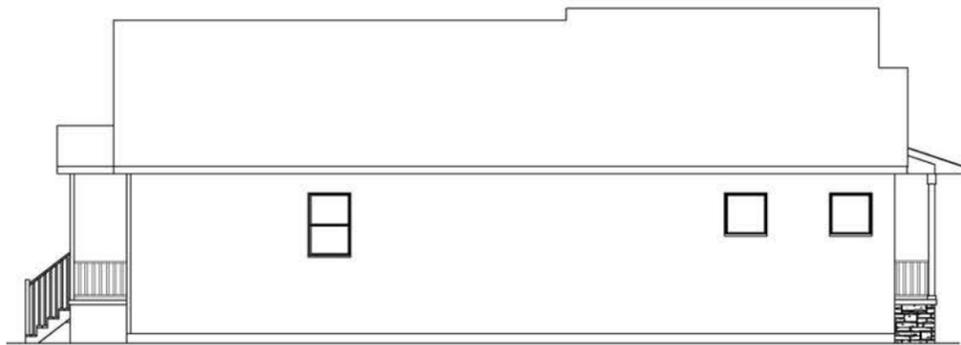


LEFT ELEVATION

GREENWOOD

ONE (1) STORY
TWO (2) BEDROOMS
SQUARE FOOTAGE: 1,234 SF

This modest home is designed for narrow lots in the City, and it has a wrap-around porch to add curb appeal if on a corner lot.



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

LARK

TWO (2) STORIES

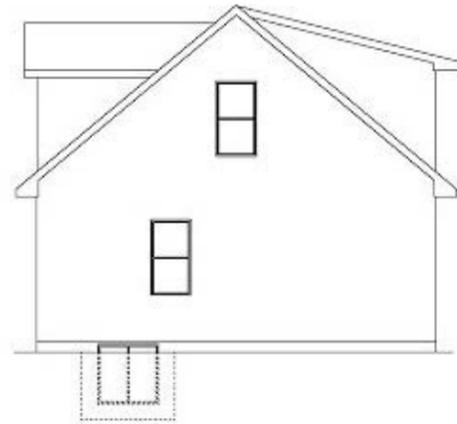
THREE (3) BEDROOMS

SQUARE FOOTAGE: 1,274 SF

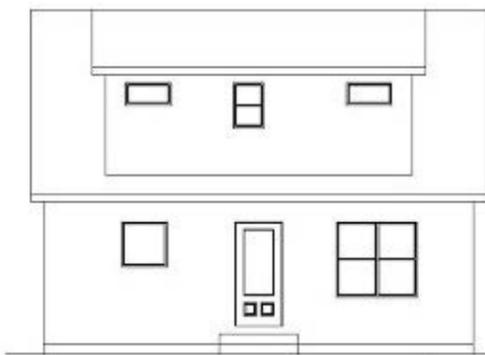
FIRST FLOOR: 733 SF

SECOND FLOOR: 541 SF

Lark is a quaint home, familiar to many established Green Bay neighborhoods. This design complements the character of those neighborhood blocks.



RIGHT ELEVATION

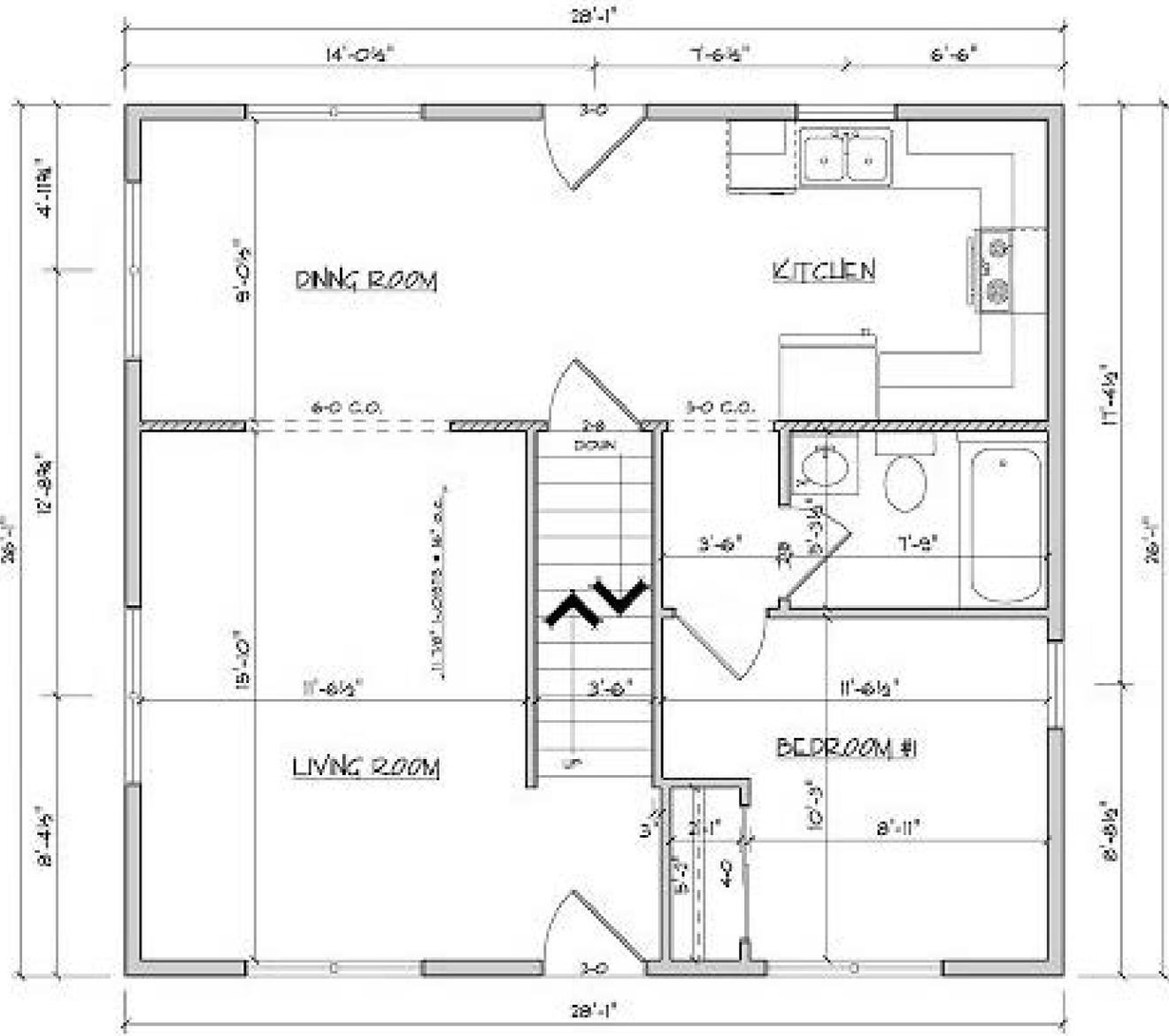


REAR ELEVATION

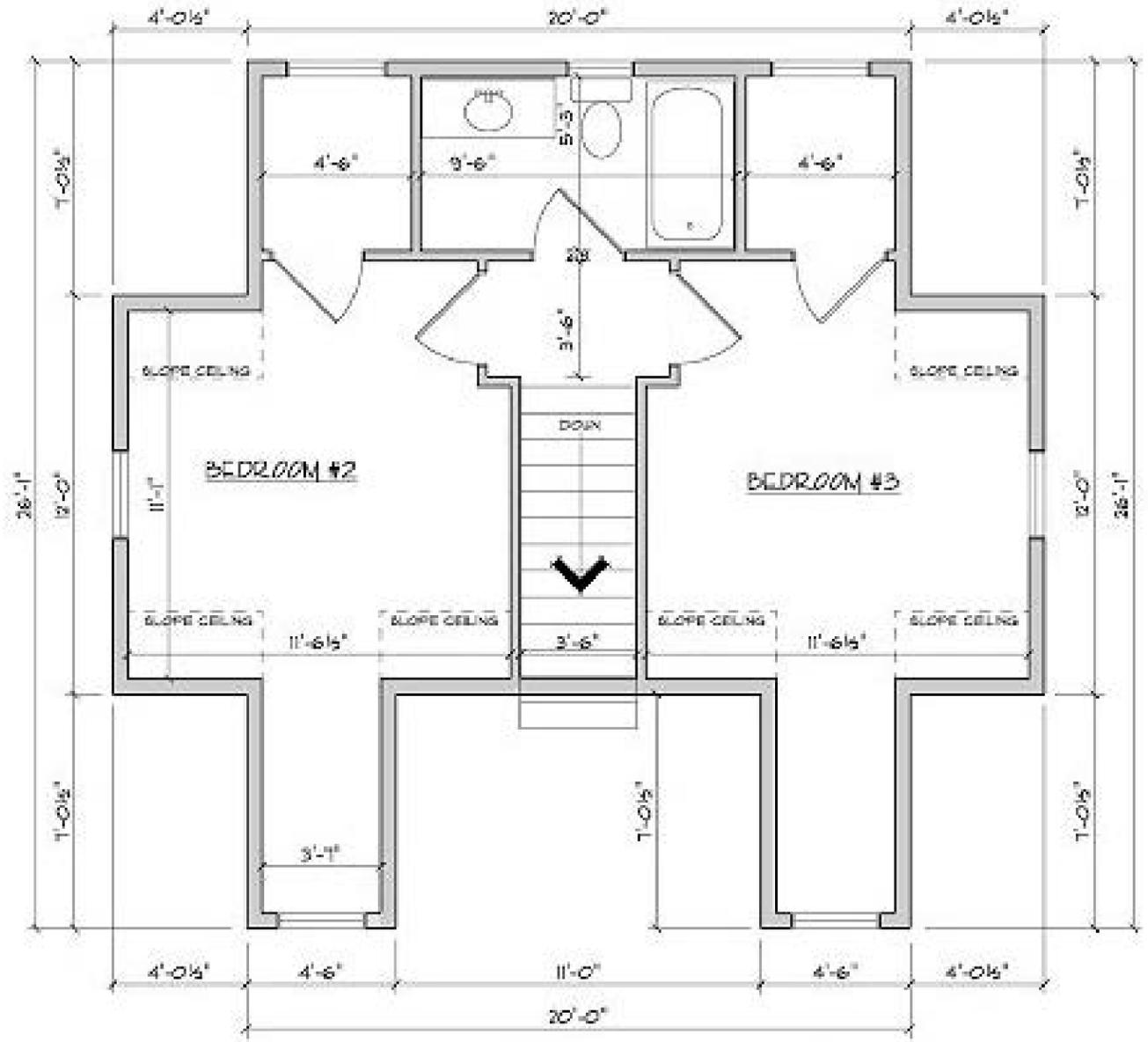


LEFT ELEVATION

FIRST FLOOR



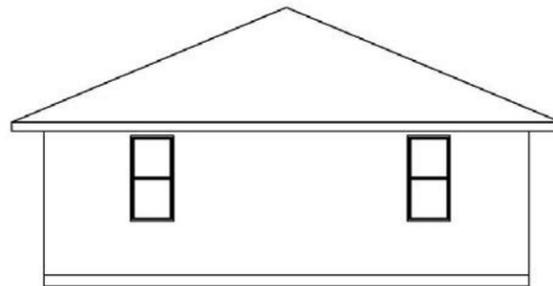
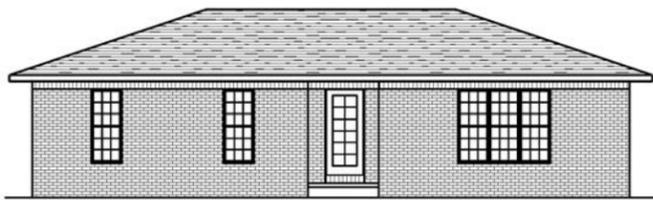
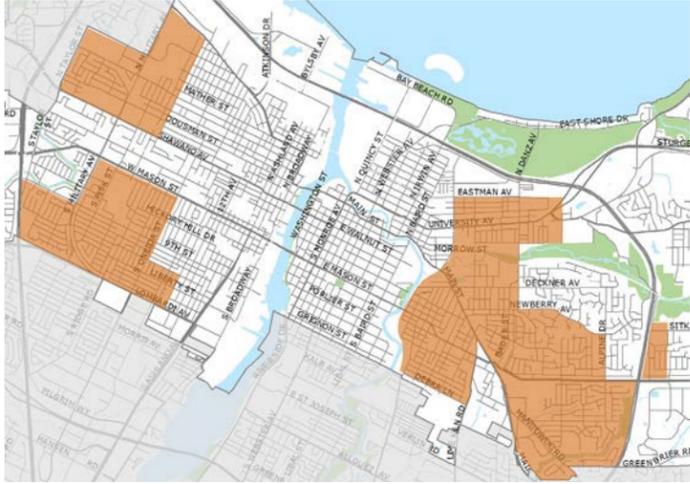
SECOND FLOOR



DEBRA

ONE (1) STORIES
THREE (3) BEDROOMS
SQUARE FOOTAGE:1,338 SF

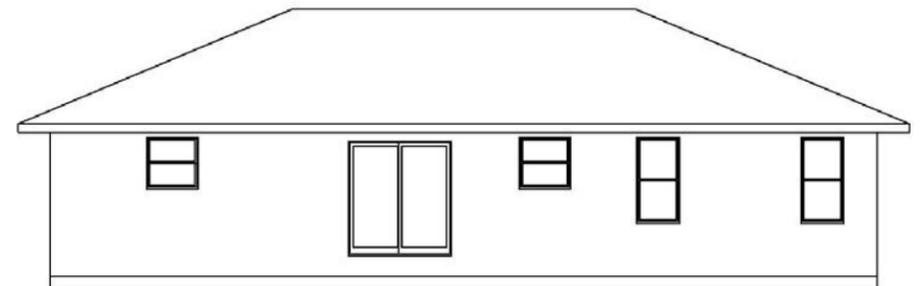
The Debra design is familiar to many Green Bay neighborhoods on the east and west sides, with four alternatives to the roof and windows.



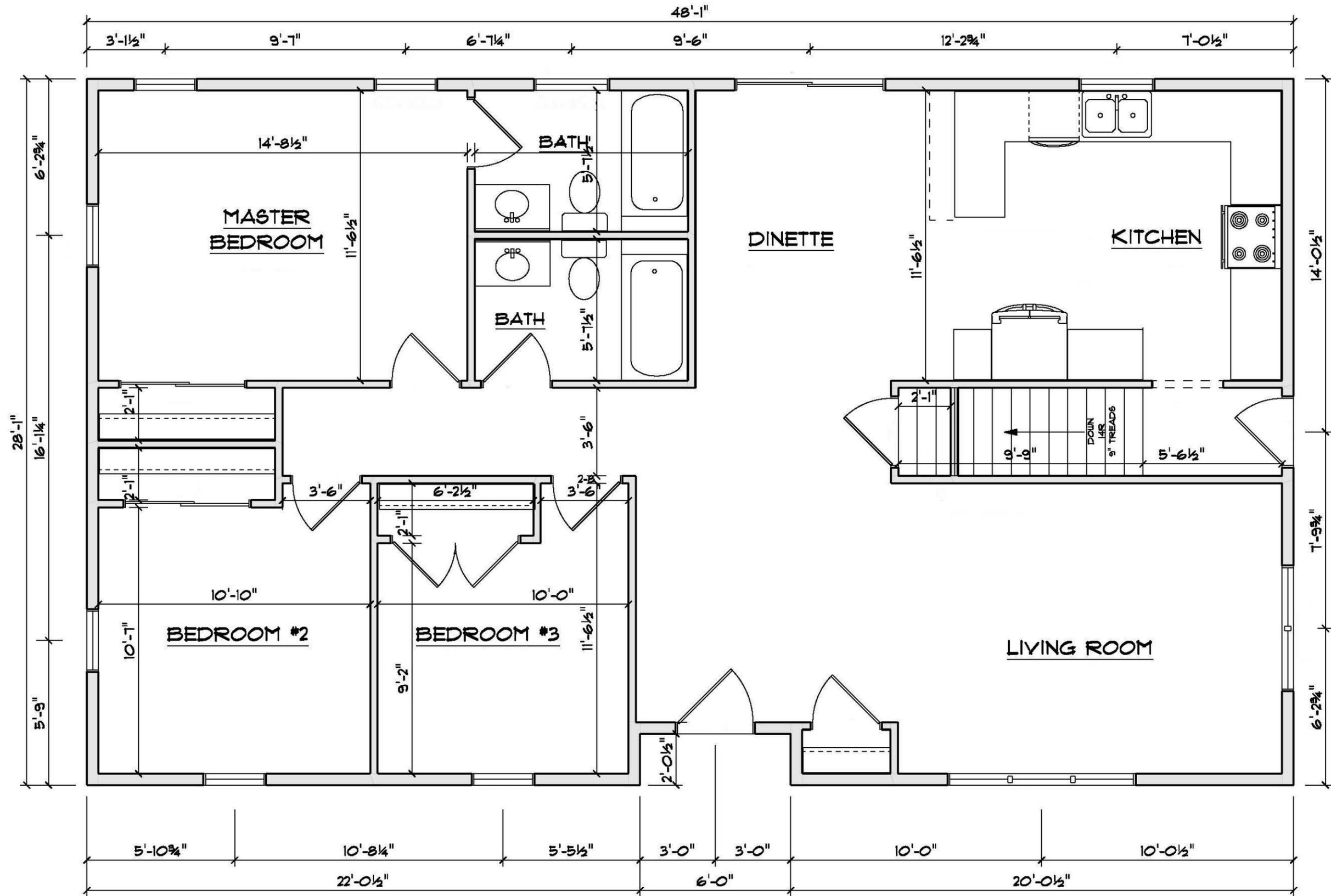
LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



CITY OF GREEN BAY
DEPARTMENT OF COMMUNITY AND ECONOMIC DEVELOPMENT

100 N JEFFERSON ST, ROOM 608
GREEN BAY, WISCONSIN 54301
920.448.3400
GREENBAYWI.GOV



PLANS BY:
WISCONSIN BUILDING SUPPLY

