



ONE & TWO-FAMILY FENCE GUIDE

The information in this packet is provided to help guide you through the permit application process. This packet will also provide you with information regarding approved fence heights, locations and minimum construction requirements.

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(08/20)

PERMIT APPLICATION GUIDE

Fence Permit Guide:

This guide was developed to help direct you through the permit application process. Following the steps below will help to expedite the issuance of your building permit.

Please note that ALL required information must be submitted together at one time when applying for your permit (see submittal checklist in Step 3).

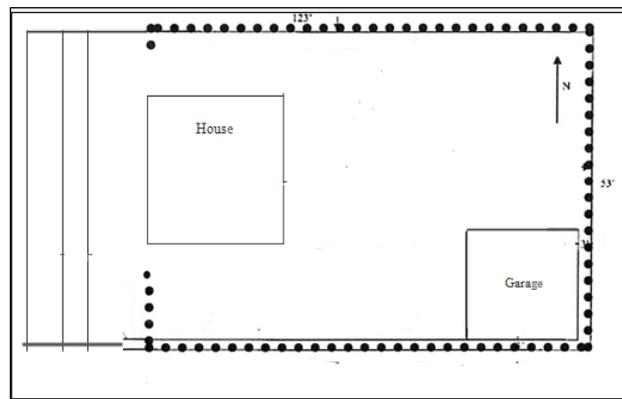
I. Completely fill out the attached Building Permit Application Short Form:

- Provide a detailed description of all proposed work. Property owners or contractors may obtain fence permits.

2. Provide Site Plan:

- Indicate/draw fence location.
- Indicate height and material of fence.
- Indicate all streets, north arrow.
- Exterior boundaries of the property including dimensions of property lines.
- Location of existing and proposed structures.
- Dimensions of setbacks from property lines and between structures.
- Parcel maps can be found on the City of Green Bay website under GIS Mapping to use as a Site Plan. (<https://greenbaywi.gov/180/GIS-Mapping>)

Sample Site Plan



..... 287 ft. of 6 ft. high, solid-wood, privacy fence along the lot lines to enclose the rear yard.

3. Apply for the Permit:

- Please plan ahead and pick one of the following methods to apply for your permit. Make sure all of the required information listed above is included and submit it to the Department of Community and Economic Development using one of the methods listed below:
 - ***In Person with an Inspector at City Hall:***
 - This is the best method to discuss the specifics of your project with an inspector. Typically if all the required information is submitted and found acceptable, the permit can be issued at that time.
 - Inspectors are typically available for consultation and permit issuance from 8:00 a.m. - 4:00 p.m., Monday through Friday, but it is strongly encouraged to call ahead to verify inspector availability due to schedule variations for summer hours, holidays, etc.
 - ***By Email:***
 - Email all the required information (see Submittal Checklist below) to inspmail@greenbaywi.gov.
 - ***By Mail:***
 - City of Green Bay
Department of Community and Economic Development
100 N Jefferson Street, Room 608
Green Bay, WI 54301

Submittal Checklist:

- ✓ Site Plan
- ✓ Building Permit Application Short Form
- ✓ Non-Permitted Erosion Control Form

4. Payment of Permit Fees:

- Once your permit application has been reviewed and you have been notified of a Project Number, you can make payment.
- Fences will require a \$50 permit fee for Residential and \$70 permit fee for Commercial.
 - Make checks payable to City of Green Bay, or
 - Pay online through GovPayNet -
<http://www.greenbaywi.gov/DocumentCenter/View/943/Online-Payment-Instructions-PDF>.
A Project Number must be assigned by Inspection office staff **before** making a payment online. A service fee will be charged for online payment.



BUILDING PERMIT APPLICATION SHORT FORM

Department of Community
and Economic Development
100 N. Jefferson Street, Rm 608
Green Bay, WI 54301-5026
(920) 448-3300 - phone
(920) 448-3426 - fax
inspmail@greenbaywi.gov

All fields must be completed before permit will be processed.

Project Address: _____

| PROPERTY OWNER | CONTRACTOR INFORMATION |
|-------------------|------------------------|
| Name: | Name: |
| Address: | Address: |
| City, State, Zip: | City, State, Zip: |
| Telephone #: | Telephone #: |
| Email: | Email: |

Property Owner – Do you own and occupy the above listed property? Yes No
(check one)

Current Land Use: I-Family 2-Family Multi-Family Commercial
(check one)

Project Scope: Fence (36) Driveway Expansion (35) Yard Shed (22)(<150 ft²)
(check all that apply)

Description of Project: _____

Estimated Cost of Construction: _____

The applicant certifies that the information submitted herein is accurate, agrees to comply with the WI Admin. Code, Municipal Ordinance, and with the conditions of this permit, and understands that permit issuance creates no legal liability, expressed or implied, on the Department or Municipality.

Signature of Applicant

Date

To schedule an inspection, submit an online Inspection Request or call (920) 448-3300 at least one business day in advance. Final inspections are required for all projects.

| | |
|----------------------------|--------------------|
| For Office Use Only | |
| Project # _____ | Receipt # _____ |
| Parcel # _____ | Permit Fee _____ |
| Reviewed By: _____ | Credential # _____ |

13-521. Fence location and height. Fences may be erected, placed, or maintained in any yard along or adjacent to a lot line in accordance with the requirements identified in this section. The owner shall be responsible for properly locating all property lines before construction of any fence.

(a) Height.

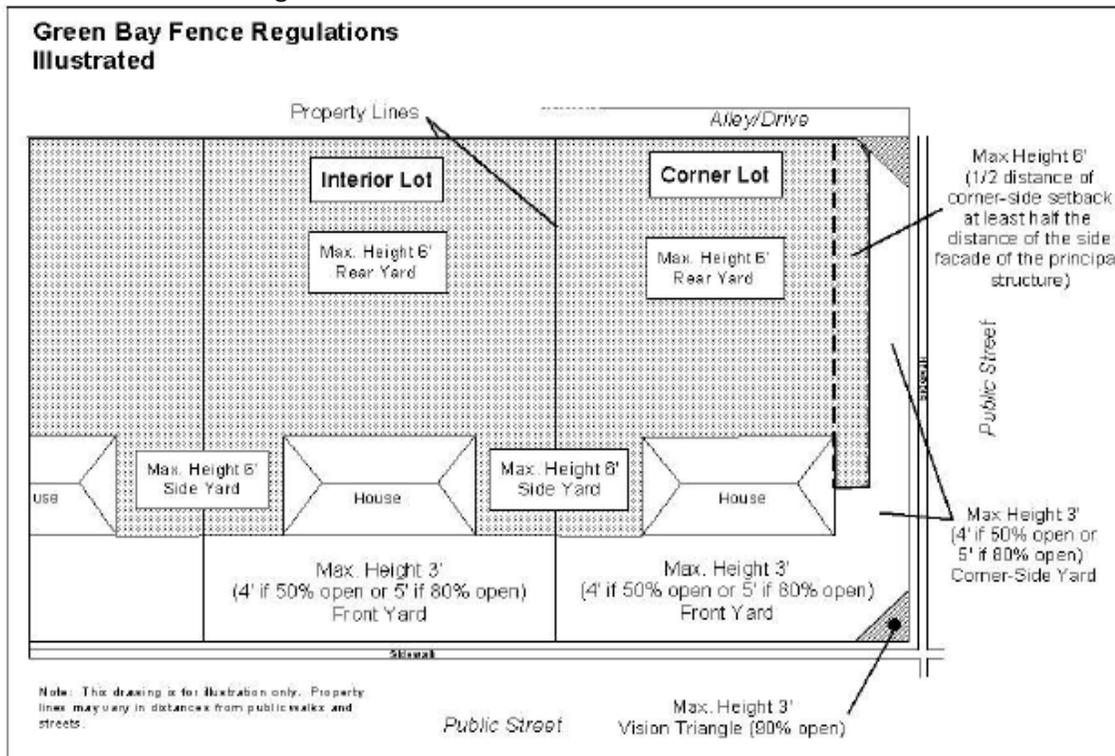
(1) Residential zoning districts. The maximum height of a fence or wall within required side and rear setbacks in a residential zoning district shall not exceed six (6) feet. Fences around pools shall not exceed eight (8) feet. The maximum height of a solid fence or wall within a required front yard or corner side yard setback shall not exceed three (3) feet. Such front yard or corner side yard fences may be increased to a maximum height of four (4) feet if open, decorative, ornamental fencing materials that are less than fifty (50) percent opaque are used or to a maximum height of five (5) feet if open, decorative, ornamental fencing materials that are less than twenty (20) percent opaque are used. When the fence extends beyond at least half the distance of the primary building's side facade, the fence height may increase to six (6) feet provided the fence is constructed not closer than 1/2 the applicable corner side yard setback.

(2) Nonresidential zoning districts. The maximum height of a fence or wall shall not exceed eight (8) feet except in required front or corner side yard setbacks where the maximum height of a solid fence or wall shall not exceed three (3) feet.

(3) In the case of grade separation, such as the division of properties by a retaining wall, fence height shall be determined based on measurement from the average point between highest and lowest grade.

(4) Fences or walls shall comply with the vision triangle requirements of Chapter 13-510.

Figure 5-2. Maximum Fence Height.



Materials and construction.

(1) Walls and fences shall be constructed of high quality materials, such as decorative blocks, brick, stone, treated wood, wrought iron, chain link and plastic.

(2) No fence shall have sharp or pointed pickets dangerous to life or limb.

(3) Hedges shall be trimmed or confined to the property on which they are planted.

(4) No fence or other structure containing barbed wire or other dangerous material shall be placed on residentially-zoned property or within four (4) feet of any public street, sidewalk, or alley.

(5) (Amd. GO 35-10) Fences shall be constructed so that the structural supporting elements are located on the side which is visible to the fence owner (inside) so that the structure/supporting elements of the fence are less visible to adjoining properties and public rights-of-way.

THINGS TO CONSIDER

- The height of a fence shall be measured from the established grade.
- The building code does not establish minimum depth requirements for installing fence posts. A general rule of thumb is to place the posts into the ground a minimum of half the height of the fence. Please note that the minimum frost depth for this area is 48 inches.
- The City of Green Bay **does** require the good side of the fence to face neighboring properties.
- The City of Green Bay does not provide surveying services for the location of property lines.
 - It is the owner's responsibility to ensure the fence is within their property lines. Property line disputes are not the City's responsibility and would result in a Civil Case.
 - Call Diggers Hotline to find out all utility easements on the property to avoid any possible damage.
 - Contact a Licensed Land Surveyor for professional services in locating your property line and/or an attorney for legal advice regarding your rights as a property owner. Also, find out if complaints have been filed against a contractor/surveyor before you hire them. Contact the Wisconsin Consumer Protection Agency (800) 422-7128, and/or the Better Business Bureau (800) 273-1002 for more information. All information is general in nature and should not be considered as legal advice or as a substitute for a survey.
- Fences are allowed to be placed up to the property lines, but in no case can the fencing extend over the property line. It is recommended that the fence be constructed off the lot line if maintenance will need to be done to the fencing without going onto the neighboring property.

If after reading this guide you still have questions, please feel free to contact the Department of Community and Economic Development at (920) 448-3300.

www.greenbaywi.gov

**Underground Utilities: Call Diggers Hotline 3 Work Days Before You Dig!
1-800-242-8511**

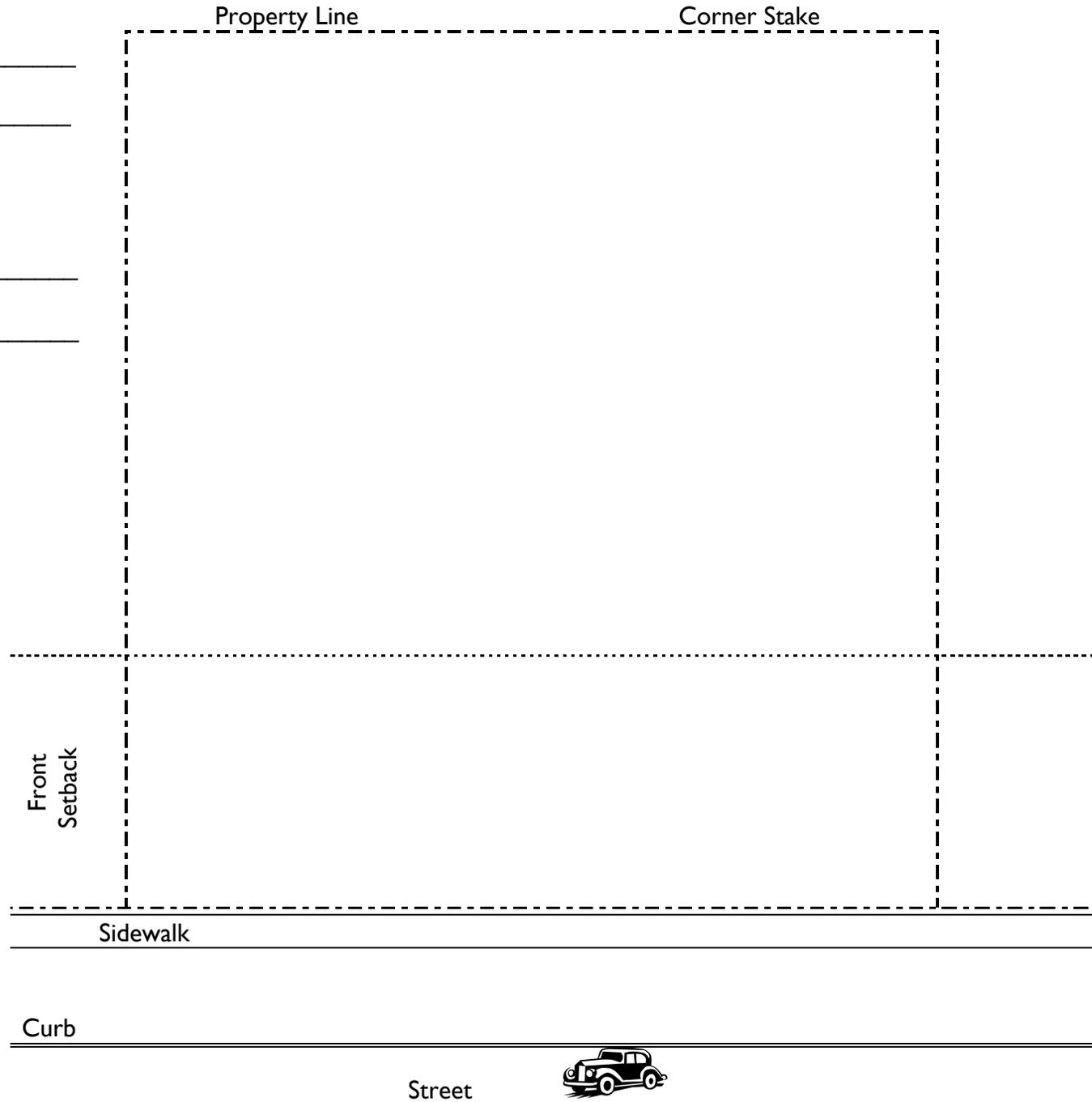
SITE PLAN

Address: _____

Parcel No: _____

Fence Height: _____

Fence Material: _____





DEPARTMENT OF PUBLIC WORKS
ENGINEERING DIVISION

100 N. Jefferson Street, Room 300
Green Bay, WI 54301
Tel (920) 448-3100
Fax (920) 448-3102

**EROSION AND SEDIMENT
CONTROL NON-PERMITTED
CONDITIONS**

Per 34.08 PERFORMANCE STANDARDS FOR CONSTRUCTION SITES NOT REQUIRED TO BE PERMITTED.

- (1) **RESPONSIBLE PARTY.** The landowner of the construction site or other person contracted or obligated by other agreement with the landowner to implement and maintain construction site BMPs is the responsible party and shall comply with this section.
- (2) **EROSION AND SEDIMENT CONTROL PRACTICES.** Erosion and sediment control practices at each site where land disturbing construction activity is to occur shall be used to prevent or reduce all of the following:
 - (a) The deposition of soil from being tracked onto streets by vehicles.
 - (b) The discharge of sediment from disturbed areas into on-site storm water inlets.
 - (c) The discharge of sediment from disturbed areas into adjacent waters of the state.
 - (d) The discharge of sediment from drainage ways that flow off the site.
 - (e) The discharge of sediment by dewatering activities.
 - (f) The discharge of sediment eroding from soil stockpiles existing for more than 7 days.
 - (g) The transport by runoff into waters of the state of chemicals, cement, and other building compounds and materials on the construction site during the construction period. However, projects that require the placement of these materials in waters of the state, such as constructing bridge footings or BMP installations, are not prohibited by this subdivision.
- (3) **LOCATION.** The BMPs shall be located so that treatment occurs before runoff enters waters of the state.
- (4) **IMPLEMENTATION.** The BMPs used to comply with this section shall be implemented as follows:
 - (a) Erosion and sediment control practices shall be constructed or installed before land disturbing construction activities begin.
 - (b) Erosion and sediment control practices shall be maintained until final stabilization.
 - (c) Final stabilization activity shall commence when land disturbing activities cease and final grade has been reached on any portion of the site.

- (d) Temporary stabilization activity shall commence when land disturbing activities have temporarily ceased and will not resume for a period exceeding 14 calendar days.
- (e) BMPs that are no longer necessary for erosion and sediment control shall be removed by the responsible party.

City Representative who reviewed the above requirements with the Project Representative:

(Signature) _____
(Date)

(Print Name and Title Here)

City Project ID: _____
Site Name: _____
Address / Location: _____
Land Owner: _____
Land Owner's Contact Representative: _____

I have reviewed the City of Green Bay Permit Conditions for the Erosion and Sediment Control Standards for the Non-Permitted referenced project above. I agree to comply with these conditions and will notify the City of Green Bay of any changes to the plan or project schedule.

(Signature) _____
(Date)

(Print Name and Title Here)

(1 Copy Permittee, 1 Copy Inspection Files, 1 Copy Engineering Files)



1 NOTIFY

Notify your local one-call center by calling 811 or making an online request 2-3 days before work begins. [Click here](#) for information about your local one-call center and online service availability. The one-call center will transmit information to affected utility operators.



2 WAIT

Wait 2-3 days (varies by state; please [click here](#) for state law information) for affected utility operators to respond to your request. On average, between 7-8 utility operators are notified for each request.

3 CONFIRM

Confirm that all affected utility operators have responded to your request by comparing the marks to the list of utilities the one-call center notified. State laws vary on the process for confirmation; please check with your local one-call center for more information.



4 RESPECT

Respect the marks. The marks provided by the affected utility operators are your guide for the duration of your project. If you are unable to maintain the marks during your project, or the project will continue past your request's expiration date (varies by state), please call 811 to ask for a re-mark.

5 DIG CAREFULLY

Dig carefully. If you can't avoid digging near the marks (within 18-24 inches on all sides, depending on state law), consider moving your project to another part of your yard. If you must dig near the marks or use machinery of any kind, please [click here](#) to read "The 811 Process for Contractors."

