

- c. Roofs must be designed to accept a snow load from an adjacent building that is of maximum height for the PUD.
- 9. Lot 300 shall follow the Architecture standards as set forth in this Section J, as applicable, with the following modifications:
  - a. No minimum functional entrance spacing shall be required for primary or secondary facades.
  - b. Pedestrian level glazing is required for at least 30% of the front façade and at least 25% of the Broadway façade. The proportion of transparent glazing shall generally conform to Exhibit L. All glazing, whether transparent or not, shall maintain a reasonably consistent appearance.
  - c. Historic images shall be considered to meet the intent of display windows.
  - d. Building materials, colors, and wall articulation shall generally conform to Exhibit L.
- K. ACCESS AND CIRCULATION. Access and circulation for automobile and pedestrian traffic established through permanent access easements, and in substantial conformity with what is depicted on the attached Exhibit E or as modified by Exhibit K-1 and L-1 as applicable.
- L. REQUIREMENT TO CONSTRUCT. In accordance with the Memorandum of Understanding that facilitated the purchase of the Larsen Green property, sales to third parties shall not be for the purpose of land banking or other purely speculative purpose. And in accordance with Section 13-1911 of the Zoning Code, any approval granted under this PUD shall expire one year from the date of approval. If construction does not commence during this time period, the PUD or PUD amendment necessary to allow the development shall be considered void.
- M. ARCHEOLOGY. In accordance with the Memorandum of Understanding that facilitated the purchase of the Larsen Green property, all archeological artifacts in place on-site, found, disturbed, or recovered are the property of the citizens of Green Bay, to which the City Council has control, subject to all state or federal regulations that may pertain to such items found.

1. Given the likely presence of archeological artifacts in the area of Lots 300 and 400, development here shall require that a professional archeologist is retained by the developer to oversee applicable construction and excavation activities.
2. Proof of retention by a developer of a professional archeologist, as well as the findings of the archeologist, shall be provided in writing to the Planning Department.

**SECTION 3.** The provisions of this ordinance, including, without limitation, the granting of a conditional-use permit and all obligations, conditions, restrictions and limitations related thereto shall run with and be jointly and severally binding upon the fee simple owner and the beneficial owner of all or any portion of the subject property. All obligations, requirements, and rights of the owner shall run with the land and shall automatically be assigned to be binding upon and inure to the benefit of its successors and assigns, including, but not limited to, any entity acquiring any financial interest in the subject property and/or any subsequent owner and/or beneficial owner of all or any portion of the subject property.

**SECTION 4.** Each exhibit which is attached to this ordinance is deemed to be and is expressly made a part of and incorporated into this ordinance to the same extent as if each such exhibit, and the plans identified therein, had been set forth in its entirety in the body of this ordinance.

**SECTION 5.** All ordinances, or parts of ordinances, in conflict herewith are hereby repealed.

**SECTION 6.** In addition to all other remedies available to the City of Green Bay, the City may decline to issue any building or other permits otherwise required by any ordinance of this City while any violation of this ordinance remains uncured.

**SECTION 7.** If any provision in this ordinance is held invalid or unconstitutional by any court of competent jurisdiction, such a decision shall not affect the validity of any other provision of this ordinance. It is hereby declared to be the intention of the City of Green Bay that all provisions of this ordinance are separable.

**SECTION 8.** This ordinance shall not take effect until a public hearing is held thereon as provided by Section 13.204, Green Bay Municipal Code, and the adoption and publication of this ordinance.

Dated at Green Bay, Wisconsin, this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Clerk

NS:bc

Attachments:

Legal Description

Location Map

Exhibit A.1 & A.2 – ALTA Survey of Property

Exhibit B – Site Use Plan (as modified)

Exhibit D – Master Overall Plan/ General Landscaping (as modified)

Exhibit E – Traffic Circulation / Parking Plan (as modified)

Exhibit G – Transmission Line Location

Exhibit K-1 through K-11 – Titledown-SMET Development

Exhibit K-1 – Site Plan

Exhibit K-2 – Equipment Plan Layout

Exhibit K-3 – Lower Level Floor Plan

Exhibit K-4 – First Level Floor Plan

Exhibit K-5 – Second Level Floor Plan

Exhibit K-6 – Third Level Floor Plan

Exhibit K-7 – Roof Plan

Exhibit K-8 – View Looking West

Exhibit K-9 – View Looking East

Exhibit K-10 – Southeast Elevational View

Exhibit K-11 – Northwest Elevational View

Exhibits L-1 through L-8 – Walmart Development

Exhibit L-1 – Conceptual Site Plan

Exhibit L-2 – Store Layout Plan

Exhibit L-3 through L-8 – Elevations and Perspectives, Sign Details

Exhibits L-9 through L-11 – Preliminary Landscape Plan

DESCRIPTION OF LARSEN GREEN AREA PUD BOUNDARY

All of Lots 1 through 18, and all of Outlot 1, of the recorded plat Larsen Green; and  
All of the recorded condominium plat Green Bay Broadway Condominium; and  
All of Lot 3, and part of Lots 1 and 4, of Brown County Certified Survey Map Number 7693, as filed in Volume 53 of Certified Survey Maps, Page 31, Document Number 2324842; and

Part of Lot 1 of Brown County Certified Survey Map Number 4847, as filed in Volume 31 of Certified Survey Maps, Page 144, Document Number 1432656; and

Part of the Fort Howard Military Reserve (known as the Railroad Grant), Township 24 North, Range 20 East, described in Brown County Document Number 2394420; and

All of the Kellogg Street right-of-way dedicated to the public in the recorded plat of Larsen Green; and

All of Donald Driver Way (formerly known as a part of Pearl Street) as conveyed in Brown County Document Numbers 2377446, 2388637, and 2377461;

all located in the City of Green Bay, Brown County, Wisconsin described as follows:

Beginning at the northwest corner of Lot 17, said Larsen Green;

thence S26°-09'-57"W, 1309.02 feet, along the west line of Lots 17, 18, 16, 15 and 14 said Larsen Green, also being the east right-of-way line of N Broadway, to the southwest corner of said Lot 14;

thence S25°-44'-22"W, 256.82 feet, continuing along said east right-of-way line of said N Broadway;

thence southeasterly along the arc of a 30.50 foot radius curve to the left, 35.32 feet, said curve having a chord which bears S27°-50'-39"E, 33.38 feet, to the north right-of-way line of Dousman Street;

thence S61°-01'-04"E, 10.13 feet, along said north line of Dousman Street;

thence continuing along said north line of Dousman Street, S63°-56'-38"E, 251.02 feet;

thence N25°-44'-22"E, 10.55 feet, to the south line of said Lot 1, Brown County Certified Survey Map Number 4847, as filed in Volume 31 of Certified Survey Maps, Page 144;

thence S77°-57'-55"E, 85.37 feet, along said south line of said Certified Survey Map Number 4847, to the southeast corner of said Certified Survey Map Number 4847;

thence N43°-33'-52"E, 927.26 feet, along said east line of Certified Survey Map Number 4847, and the east line of said Brown County Document Number 2394420, to the northeast corner of said Brown County Document Number 2394420;

thence N46°-26'-08"W, 70.00 feet along the north line of said Brown County Document Number 2394420, to the northwest corner of said Brown County Document Number 2394420, also being a point on the east line of said Lot 17, Larsen Green;

thence N 43°-33'-52"E, 647.61 feet, along said east line of Lot 17, Larsen Green;

thence N64°-17'-02"W, 96.29 feet along said Lot 17, Larsen Green;

thence N26°-19'-10"E, 331.08 feet, along the east line of said Lot 17, Larsen Green, to the south right-of-way line of Mather Street;

thence N63°-45'-33"W, 87.30 feet, along said north right-of-way line of Mather Street;

thence southwesterly along the arc of a 245.50 foot radius curve to the right, 113.99 feet, said curve having a chord which bears S53°-59'-00"W, 112.97 feet, along said Lot 17, Larsen Green;

thence N63°-49'-46"W, 11.47 feet, along the north line of said along said Lot 17, Larsen Green;

thence continuing along said north line of along said Lot 17, Larsen Green, N77°-47'-32"W, 103.10 feet;

thence S26°-11'-42"W, 50.31 feet along said along said Lot 17, Larsen Green;

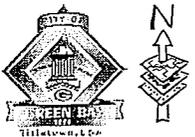
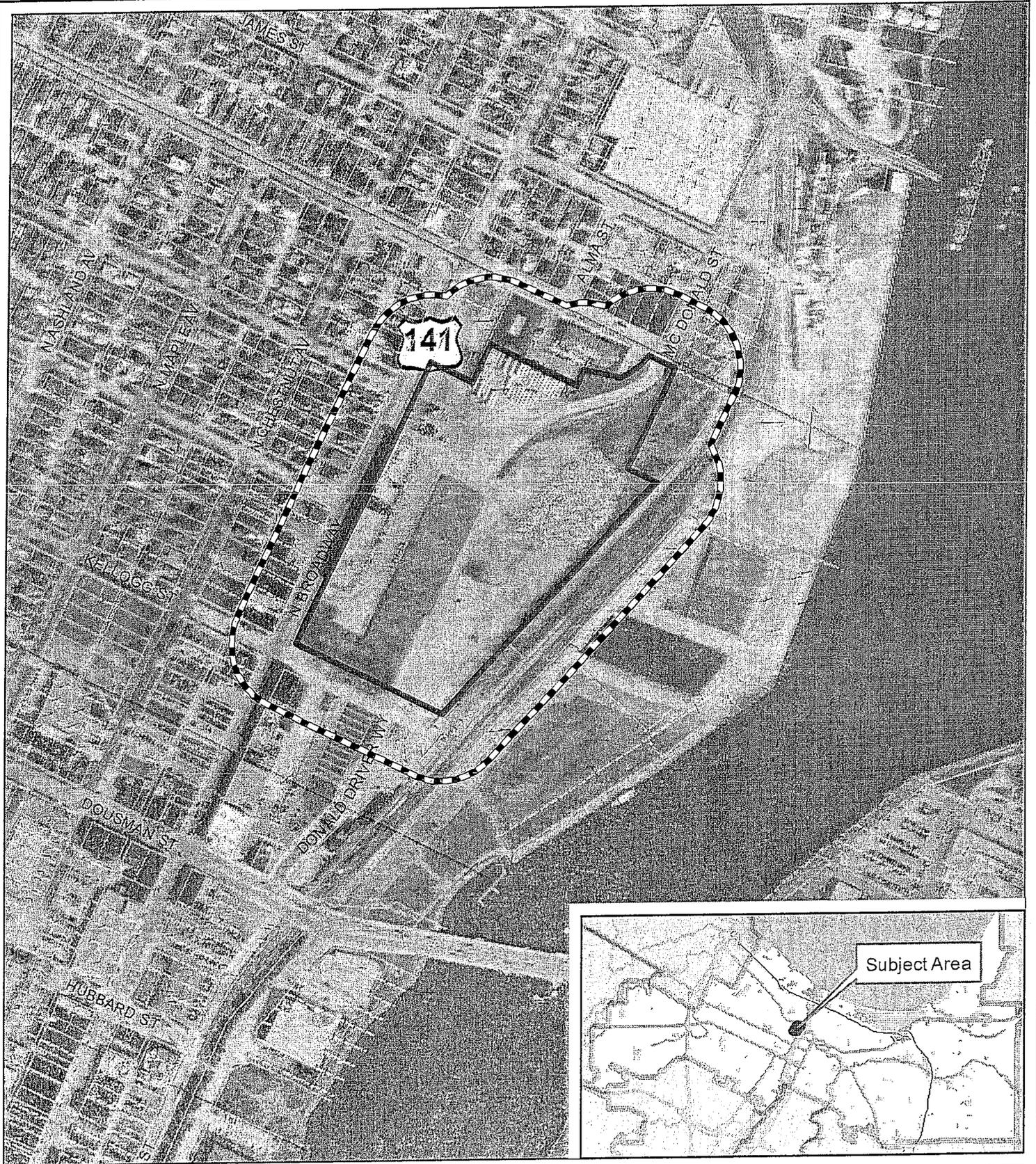
thence continuing along said north line of along said Lot 17, Larsen Green, N63°-48'-57"W, 286.93 feet;

thence S26°-10'-14"W, 125.12 feet along said along said Lot 17, Larsen Green;

thence continuing along said north line of along said Lot 17, Larsen Green, N63°-49'-46"W, 142.97 feet, to the point of beginning.

Parcel contains 1,011,607 square feet / 23.22 acres of land more or less.

Parcels affected being tax parcel numbers 5-1740, 5-1741, 5-1742, 5-1743, 5-1744, 5-1745, 5-1746, 5-1747, 5-1748, 5-1749, 5-1750, 5-1751, 5-1752, 5-1753, 5-1754, 5-1755, 5-1756, 5-1757, 5-1758, 5-1737, 5-1738, 5-1739, 5-584-2, 5-584-3 and 5-1524-1.



**Notification Area**

**Legend**

-  200' Notification Area
-  Subject Area

**Zoning Petition (ZP 14-20)  
Request to Amend the Larsen  
Green PUD for Walmart Store  
In the 400-600 Blocks of  
N Broadway Street**



*This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied.  
Map prepared by City of Green Bay Planning Department.  
NPS, May 2014. X:\Planning\City\ZP Maps\2014\ZP 14-20*

17 P



# ALTA/ACSM Land Title Survey

Part of a certain tract of land formerly known as the Fort Stevens Military Reservation, now known as the Alhambra Green, part of Lots 43, 44, 45, 46, 47, 48, and 49, and all of Lots 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

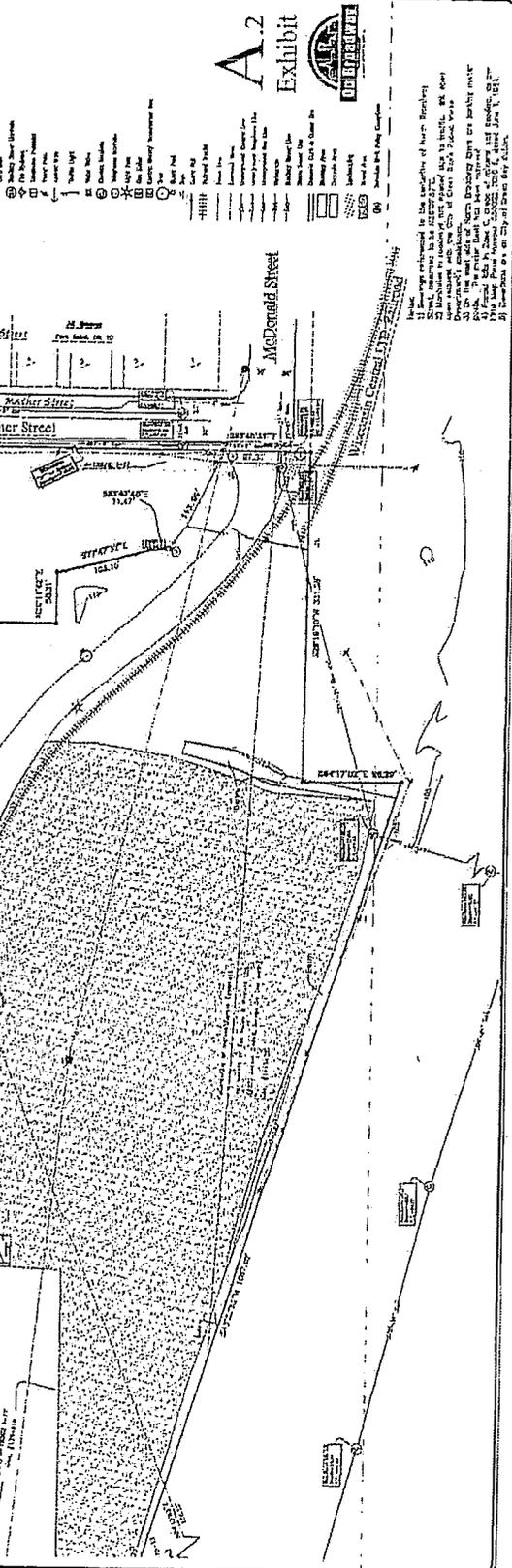


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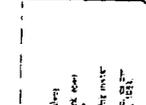
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150+50	100.00	90.00	100.00

**Legend**

- 1. Surveyed boundary
- 2. Unsurveyed boundary
- 3. Easement
- 4. Right of way
- 5. Utility
- 6. Building
- 7. Fencing
- 8. Road
- 9. Water
- 10. Other



**A<sup>2</sup> Exhibit**



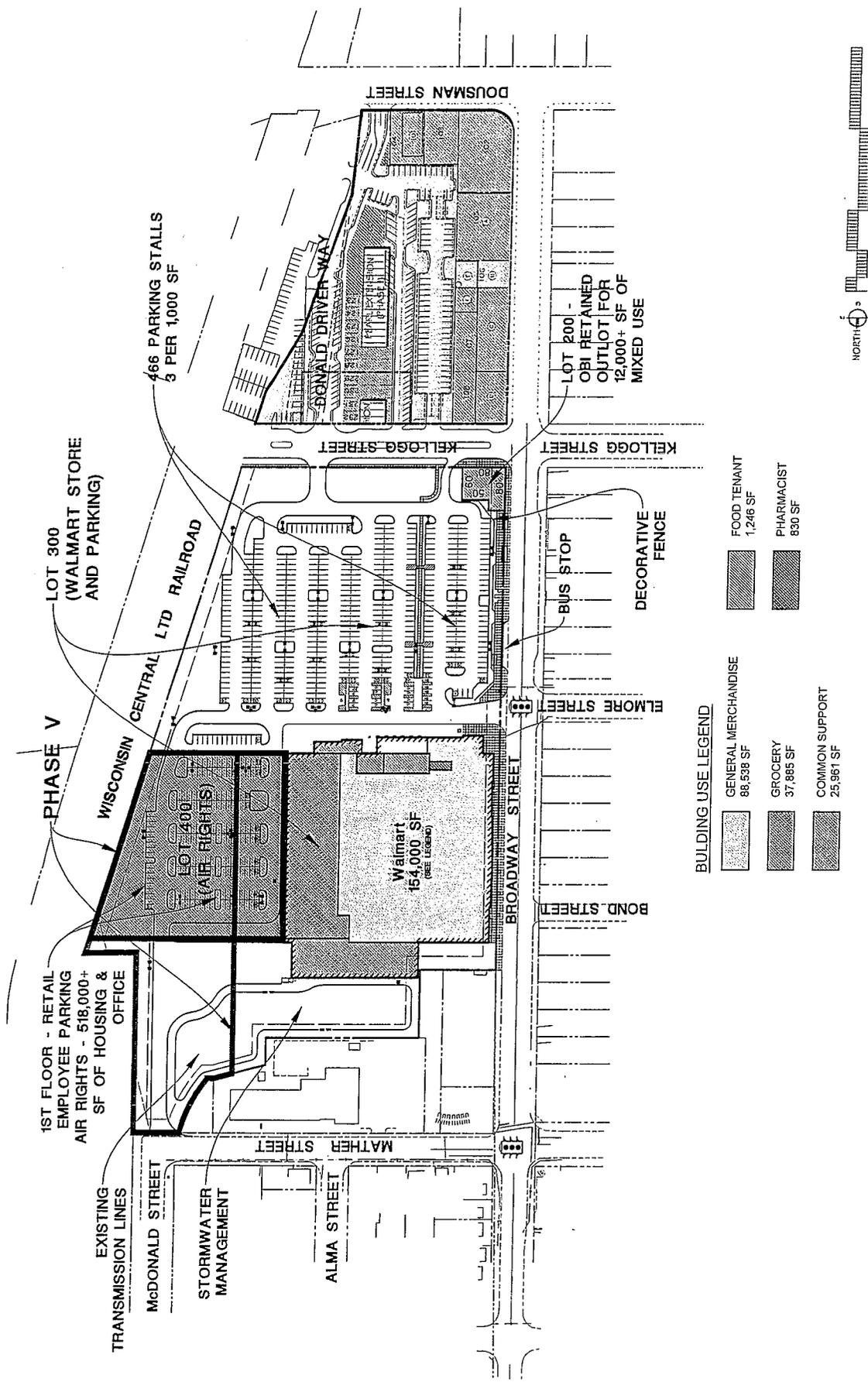
Survey prepared in the county of Santa Clara, California, by the undersigned, a duly qualified and licensed Professional Engineer, on the 1st day of June, 1981.

**Mau & Associates**  
 CIVIL & WATER RESOURCE ENGINEERS  
 1000 WEST 11TH AVENUE, SUITE 100, DENVER, COLORADO 80202  
 PHONE: 333-4444 FAX: 333-4444

**On Broadway, Inc.**  
 Alta Survey

PROJECT NO. 2-252  
 SHEET NO. 2 OF 2  
 SCALE: 1" = 50'

17



1ST FLOOR - RETAIL  
EMPLOYEE PARKING  
AIR RIGHTS - 518,000+  
SF OF HOUSING &  
OFFICE

PHASE V

LOT 300 -  
WALMART STORE  
(AND PARKING)

466 PARKING STALLS  
3 PER 1,000 SF

WISCONSIN  
CENTRAL LTD RAILROAD

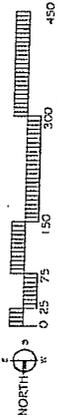
LOT 400  
(AIR RIGHTS)

Walmart  
154,000 SF  
(SEE LEGEND)

LOT 200 -  
OBI RETAINED  
OUTLOT FOR  
12,000+ SF OF  
MIXED USE

**BUILDING USE LEGEND**

- GENERAL MERCHANDISE  
88,538 SF
- GROCERY  
37,885 SF
- COMMON SUPPORT  
25,961 SF
- FOOD TENANT  
1,246 SF
- PHARMACIST  
830 SF



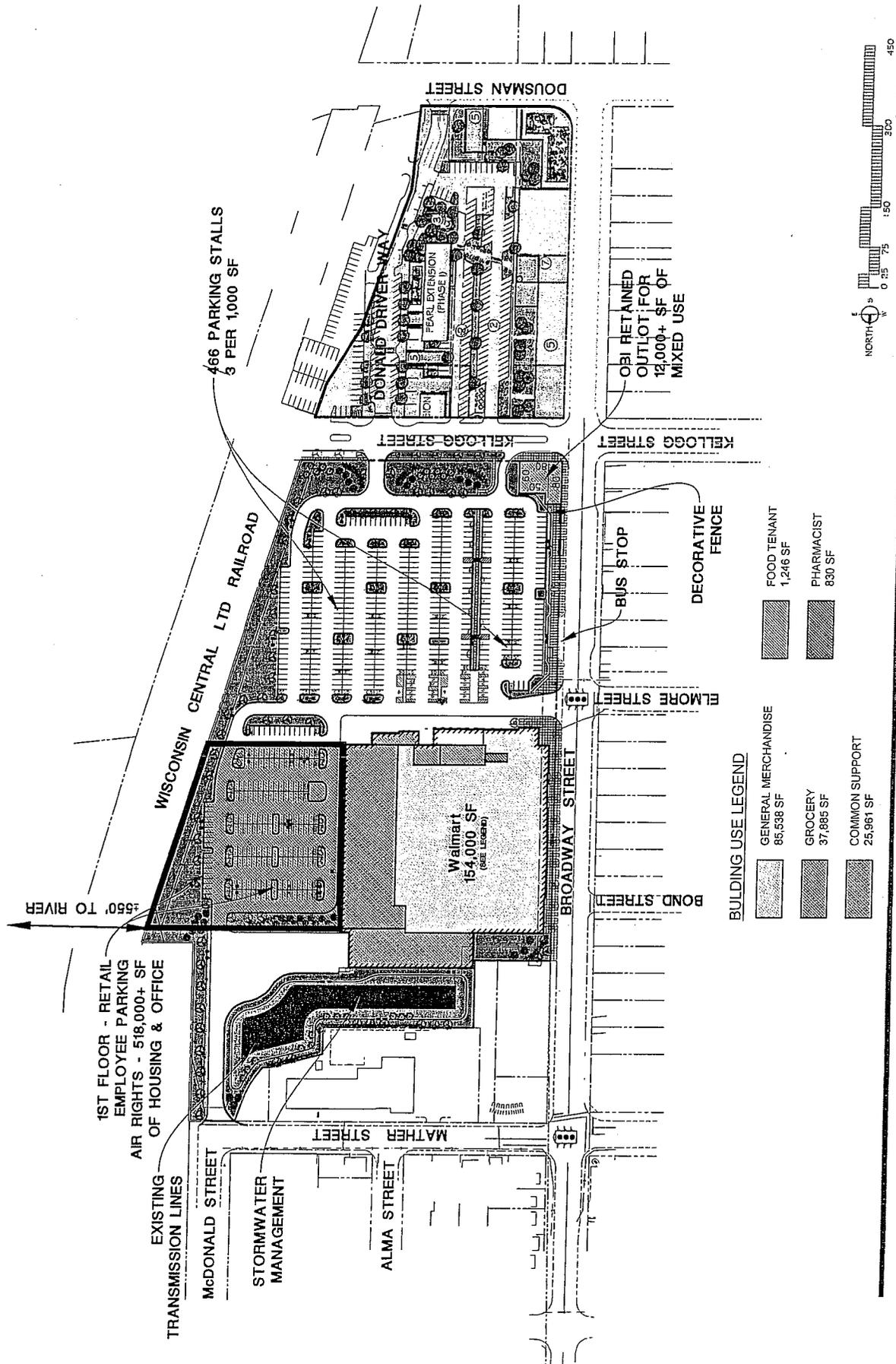
**B**  
Exhibit

**LARSEN REDEVELOPMENT**

Site Use Plan



175



**BUILDING USE LEGEND**

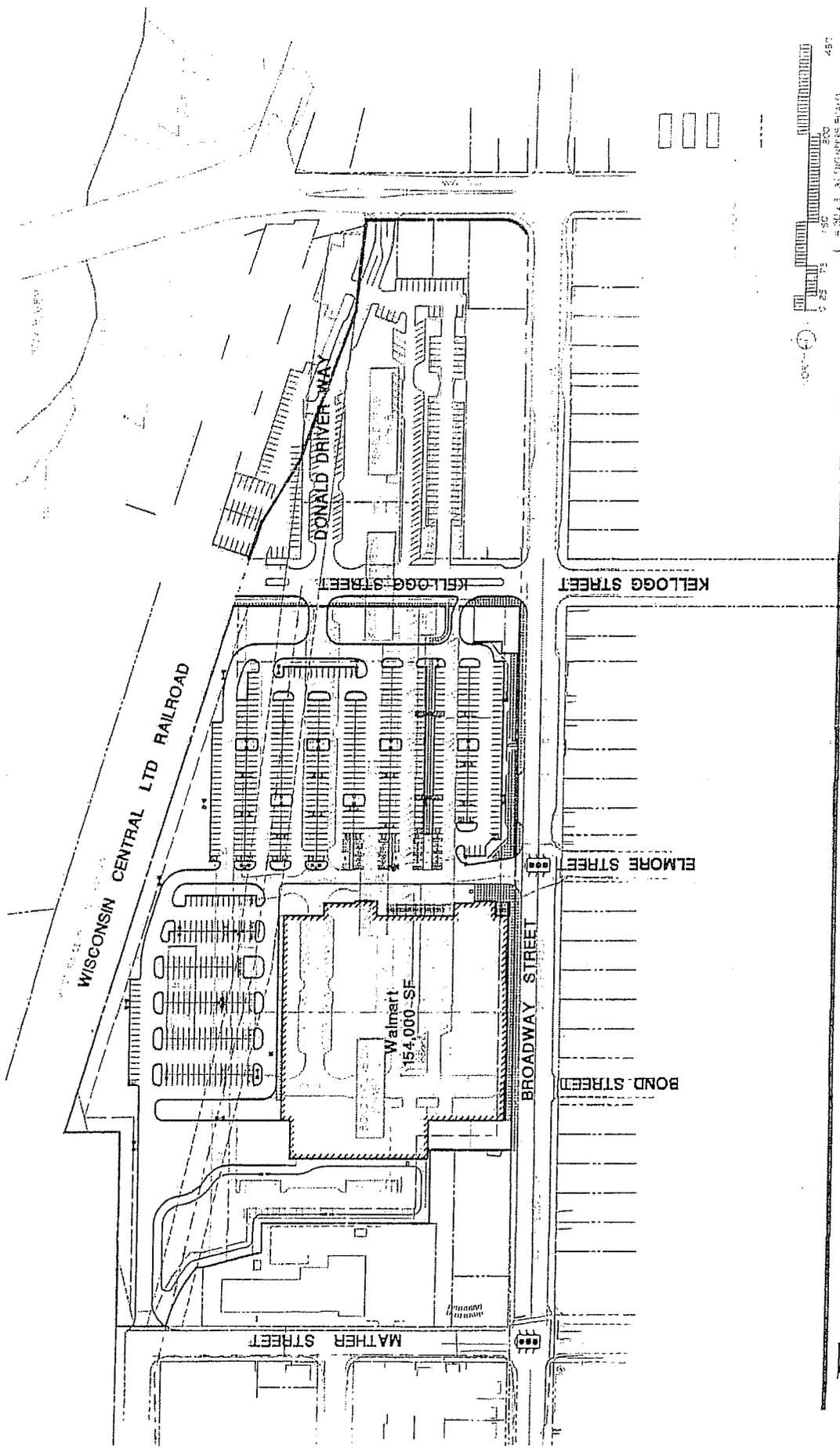
[Pattern]	GENERAL MERCHANDISE 86,538 SF	[Pattern]	FOOD TENANT 1,246 SF
[Pattern]	GROCERY 37,885 SF	[Pattern]	PHARMACIST 830 SF
[Pattern]	COMMON SUPPORT 25,961 SF		

**D**  
Exhibit

**LARSEN REDEVELOPMENT**  
Master Plan



17 +



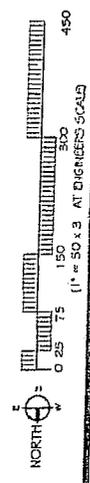
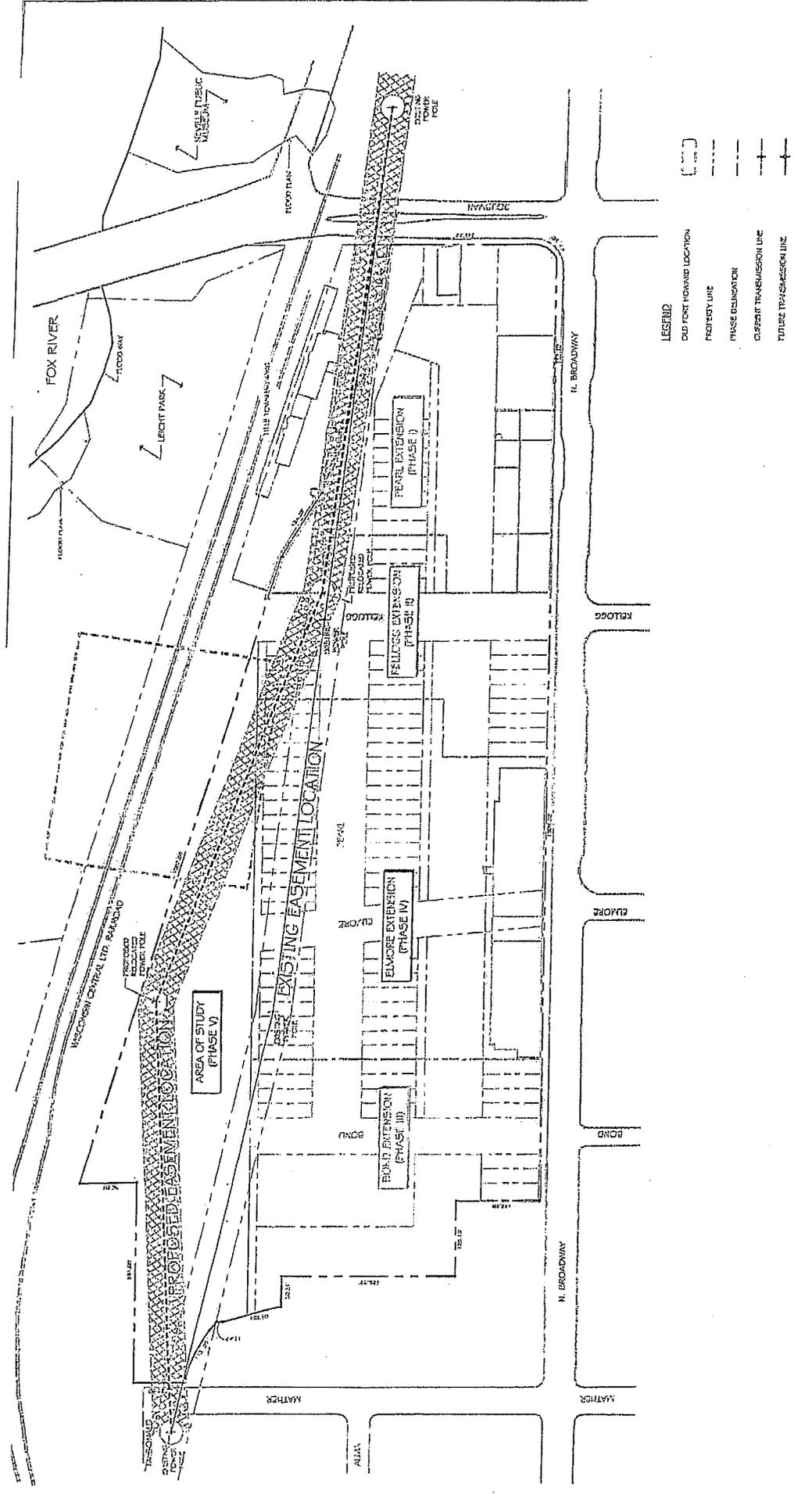
**E**  
Exhibit

**LARSEN REDEVELOPMENT**

Traffic & Parking



174



- LEGEND**
- OLD FOOT TOWER LOCATION
  - - - - - PROPERTY LINE
  - - - - - PHASE DELINEATION
  - - - - - EXISTING TRANSMISSION LINE
  - - - - - FUTURE TRANSMISSION LINE

**G** Exhibit

**LARSEN REDEVELOPMENT**

**TRANSMISSION LINES**

**DIMENSION IV**

153 North Broadway Green Bay, WI 920.431.3444

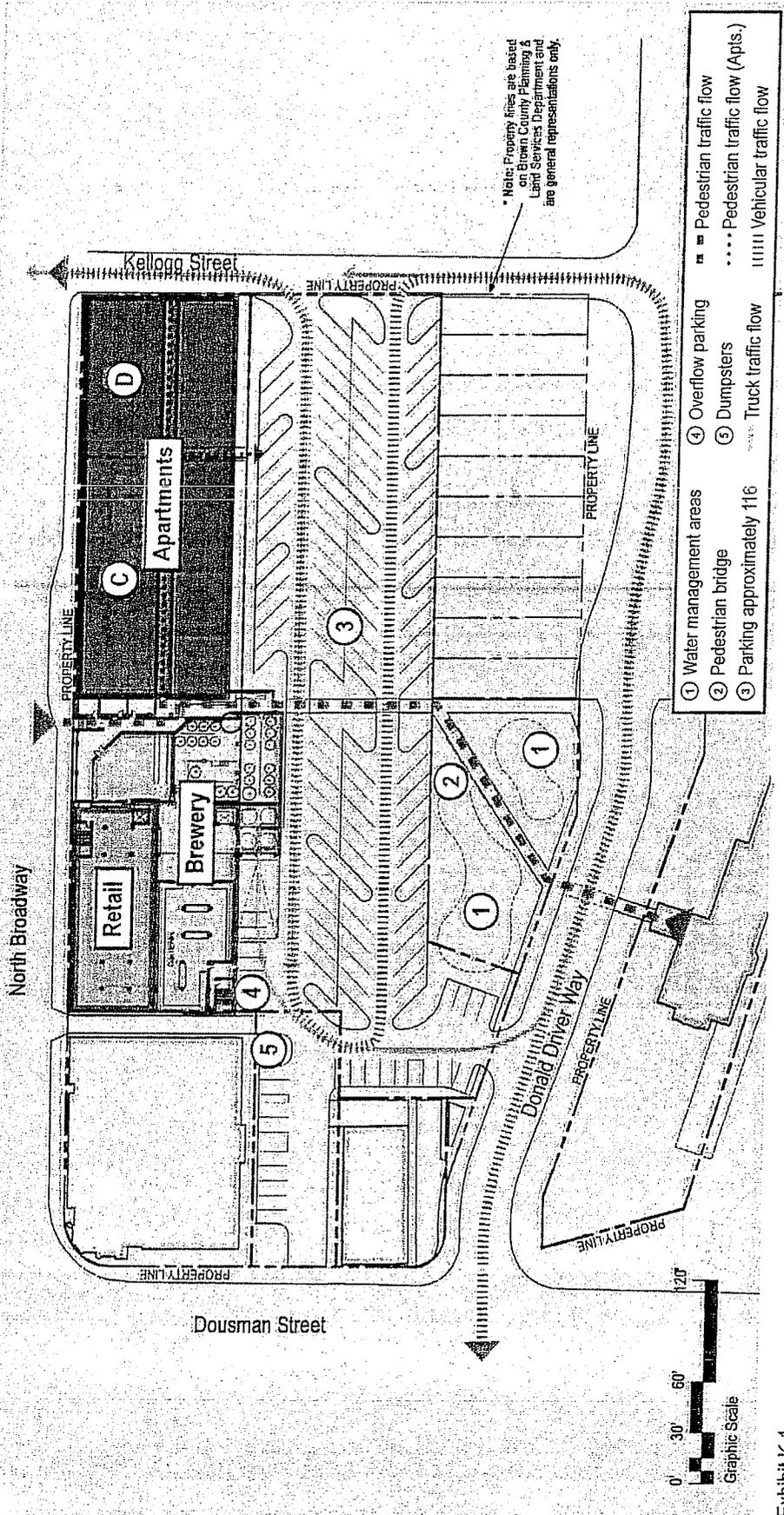


471



T Wall Enterprises

Larsen Building Complex - Green Bay, WI  
©2013 Plunkett Royal Architects, LP - 17 July 2013 - #130152-01



Site Plan  
Schematic Design  
Scale: 1"=60' - 0"

Exhibit K-1



17 W



**SMET**  
CONSTRUCTION SERVICES

# Titletown Brewery - Green Bay, WI

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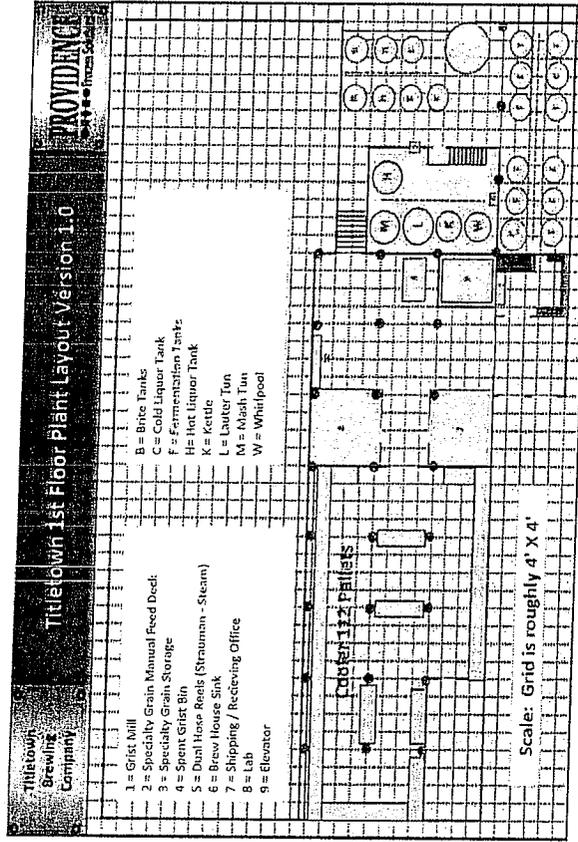
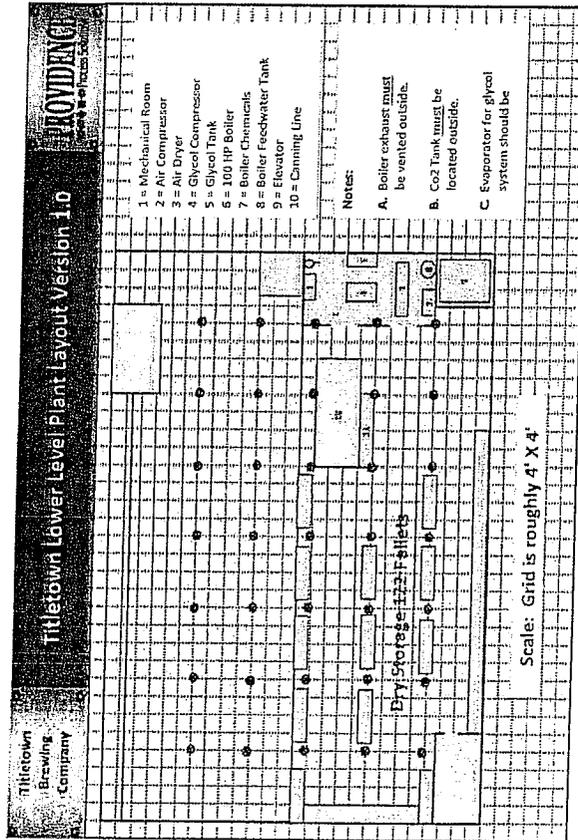


Exhibit K-2

Equipment Plan Layout



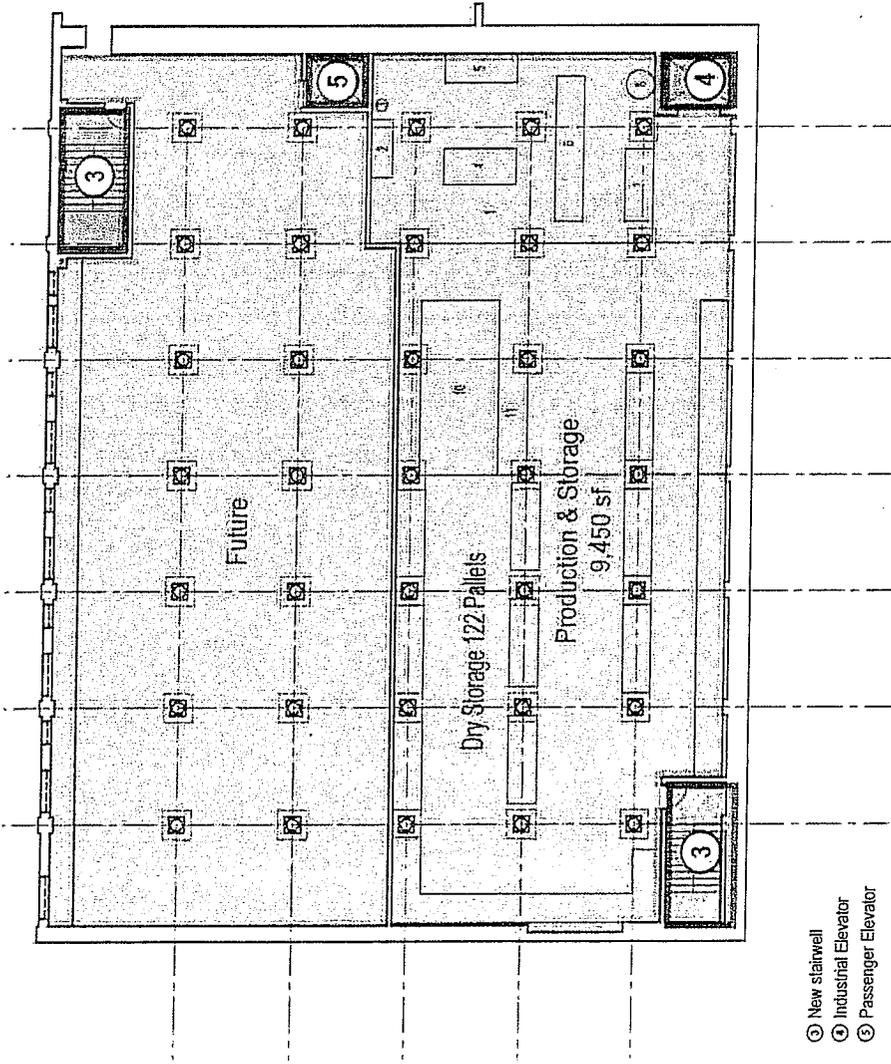
17X



**SMET**  
CONSTRUCTION SERVICES

Titletown Brewery - Green Bay, WI

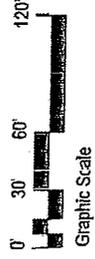
©2013 Planetti Poytich Architects, LP - 17 July 2013 - #130152-01



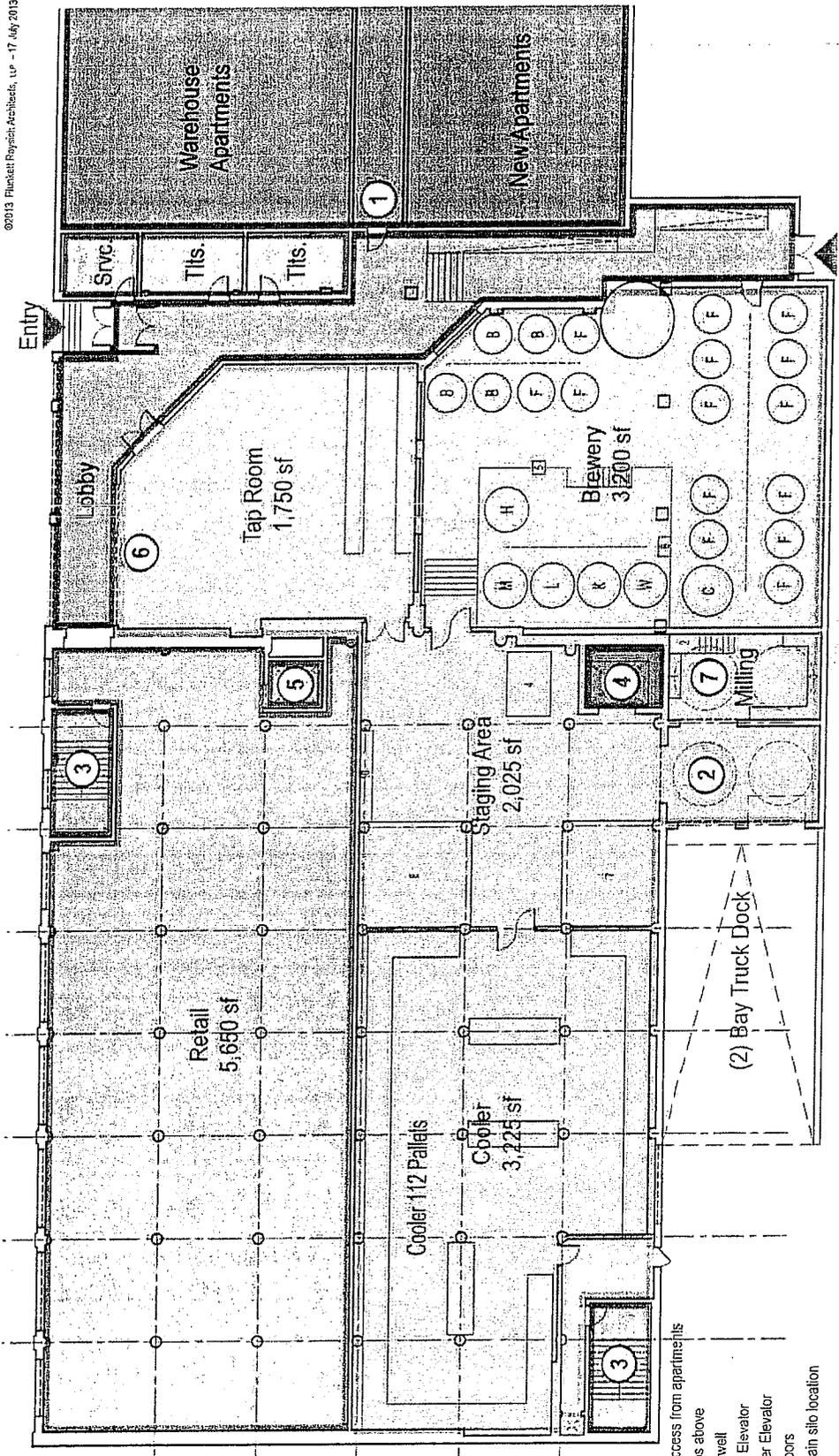
- ③ New stairwell
- ④ Industrial Elevator
- ⑤ Passenger Elevator

Exhibit K-3

Lower Level Floor Plan  
Schematic Design  
Scale: 1/16" = 1' - 0"



17 Y



- ① Secure access from apartments
- ② Grain silos above
- ③ New stairwell
- ④ Industrial Elevator
- ⑤ Passenger Elevator
- ⑥ Sliding doors
- ⑦ Future grain silo location

Exhibit K-4

First Level Floor Plan  
 Schematic Design  
 Scale: 1/16" = 1' - 0"



172



**SMET**  
CONSTRUCTION SERVICES

Titletown Brewery - Green Bay, WI

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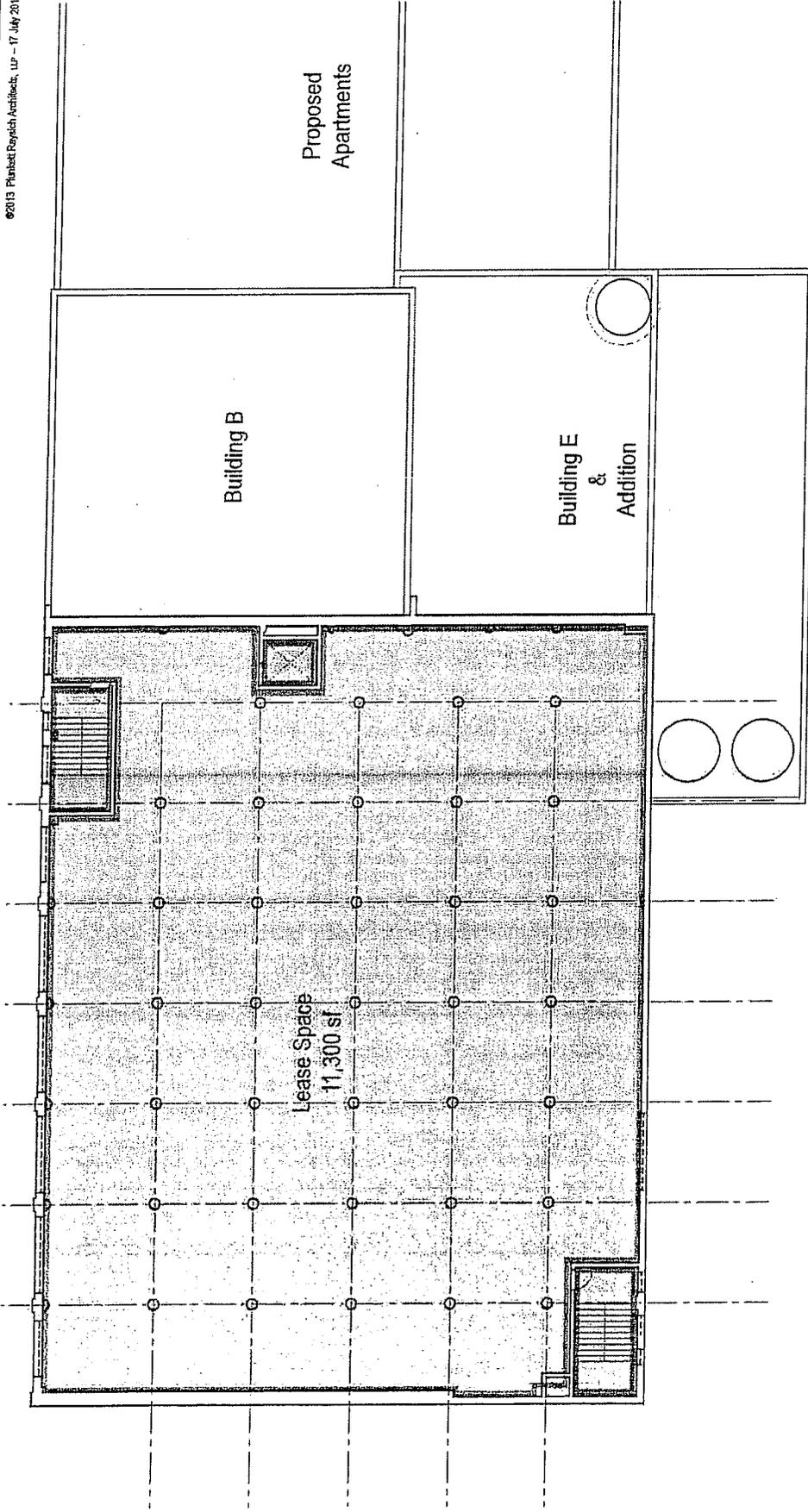


Exhibit K-5

Second Level Floor Plan  
Schematic Design  
Scale: 1/16" = 1' - 0"



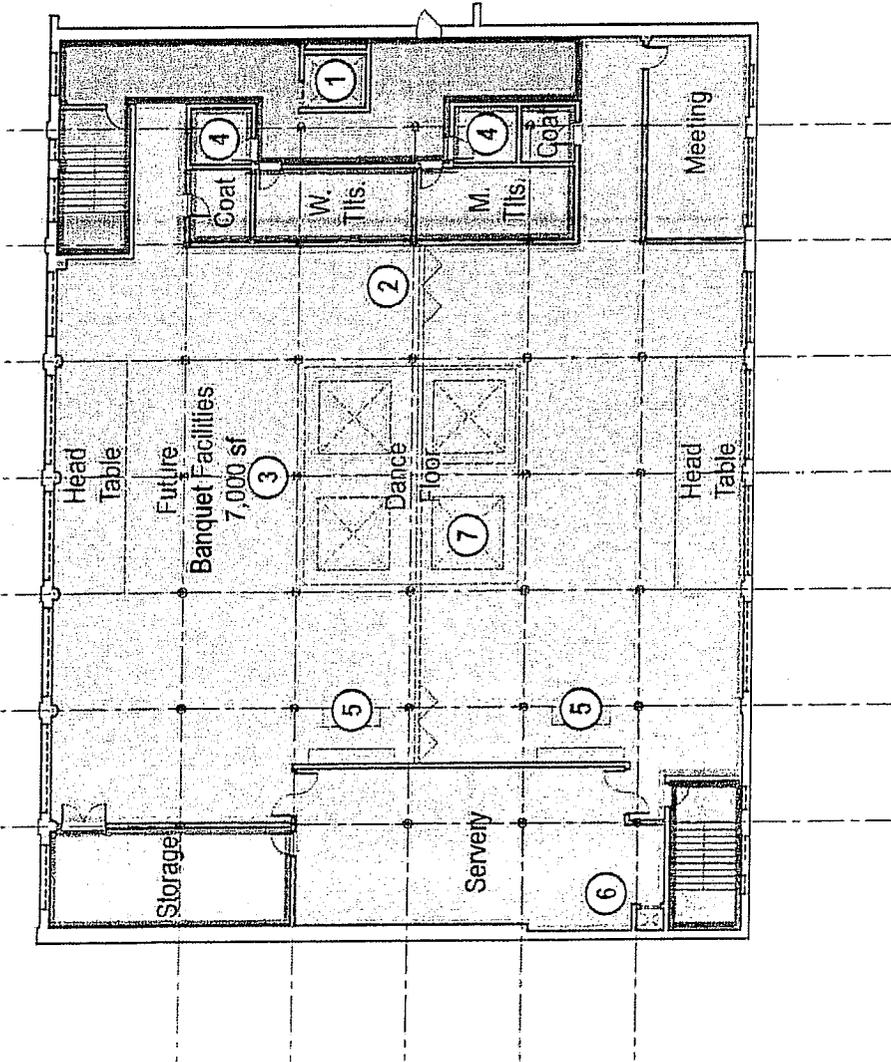
17 44



**SOMET**  
CONSTRUCTION SERVICES

Tittletown Brewery - Green Bay, WI

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- ① Double access elevator
- ② Moveable partition wall
- ③ Posted per 250 seating capacity
- ④ Secure Room
- ⑤ Stand-up service bar
- ⑥ Dumbwaiter for food service
- ⑦ Skylights above



Third Level Floor Plan  
Schematic Design  
Scale: 1/16" = 1' - 0"

Exhibit K-6

17 66





**SNET**  
COMMERCIAL DESIGN SERVICES

Tipton Brewery - Green Bay, WI

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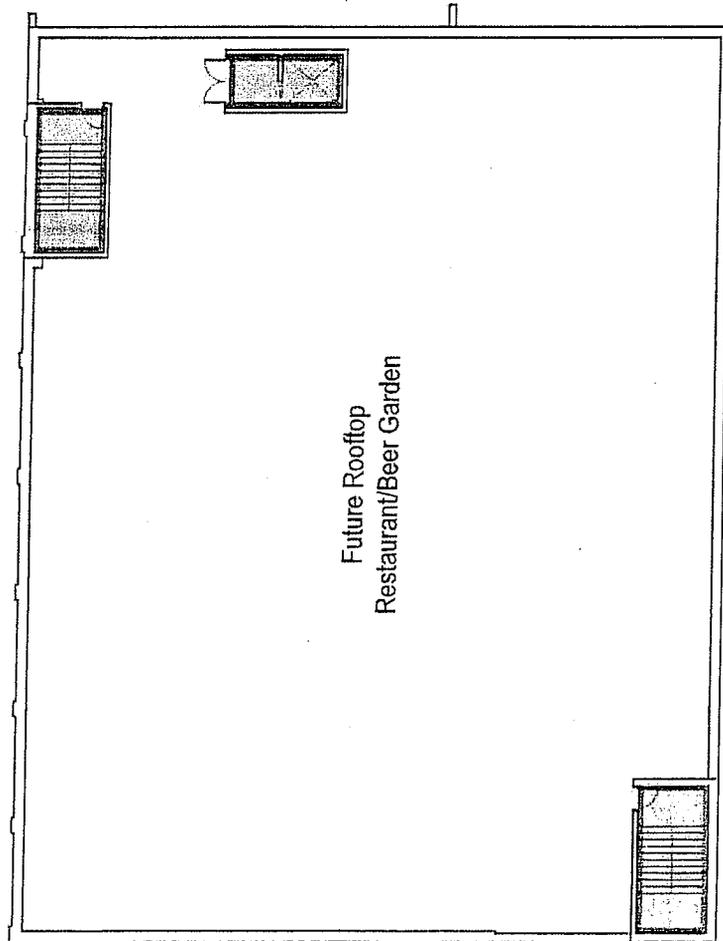


Exhibit K-7

Roof Plan  
Schematic Design  
Scale: 1/16" = 1' - 0"



17 cc



**SM&T**  
ARCHITECTURAL SERVICES

Titletown Brewery - Green Bay, WI

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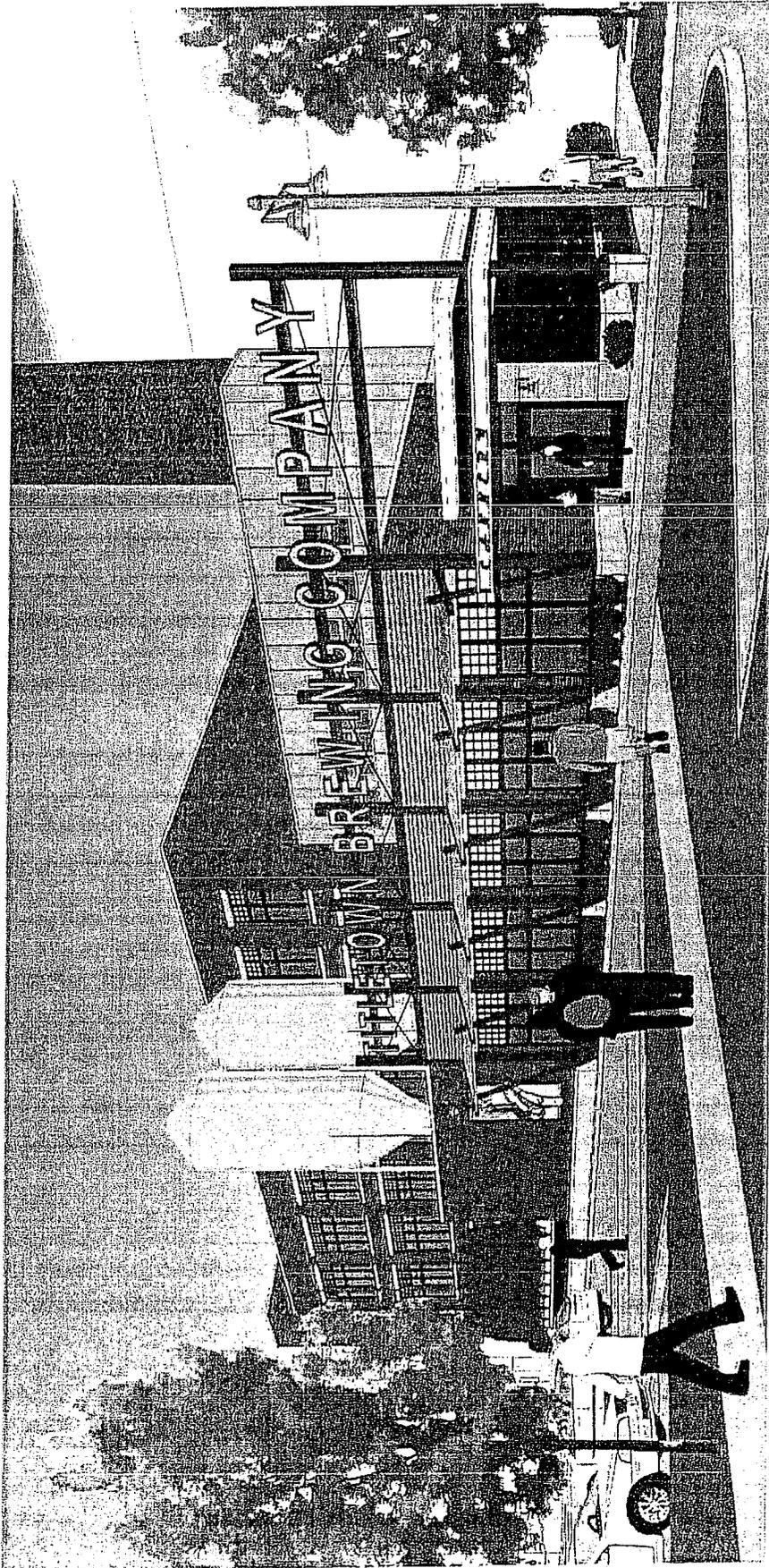


Exhibit K-8

View Looking West from Parking Lot



pp 61



**SMET**  
CONSTRUCTION SERVICES

Tillettown Brewery - Green Bay, WI

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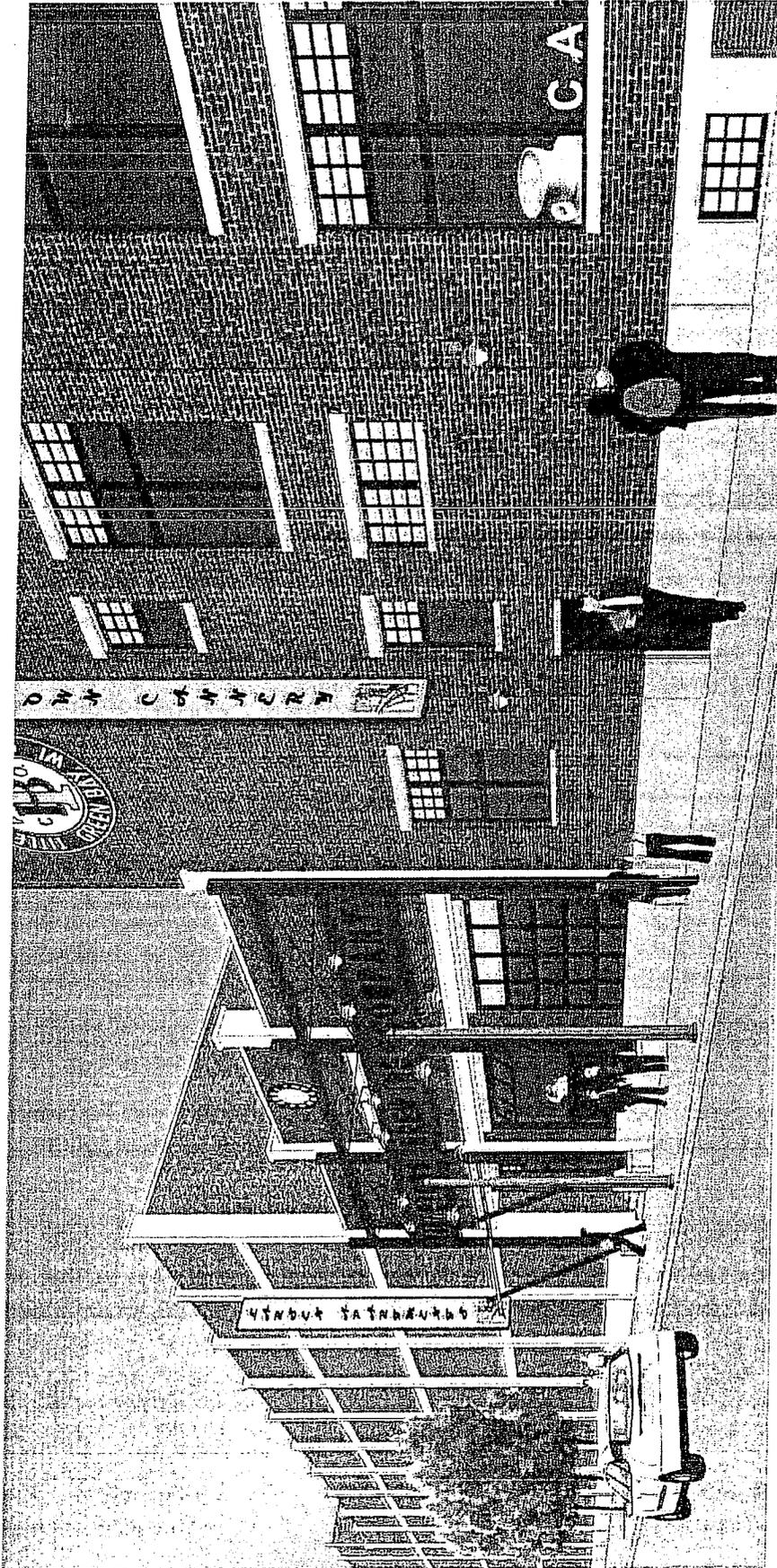


Exhibit K-9

View Looking East from North Broadway



17 ee



**SMET**  
CONSTRUCTION SERVICES

Titletown Brewery - Green Bay, WI

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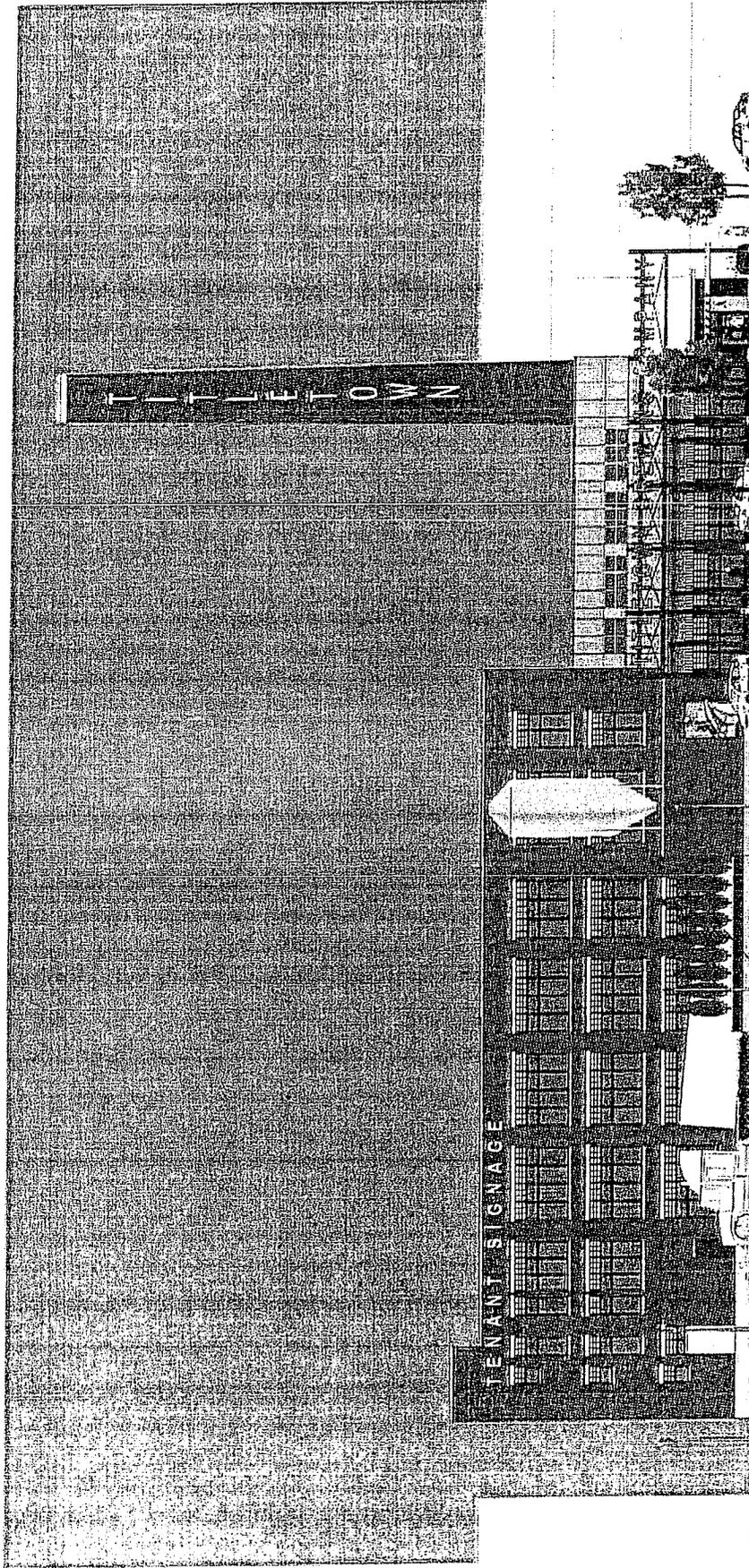


Exhibit K-10

Southeast Elevational View

Loading Dock Arbortvae Screen



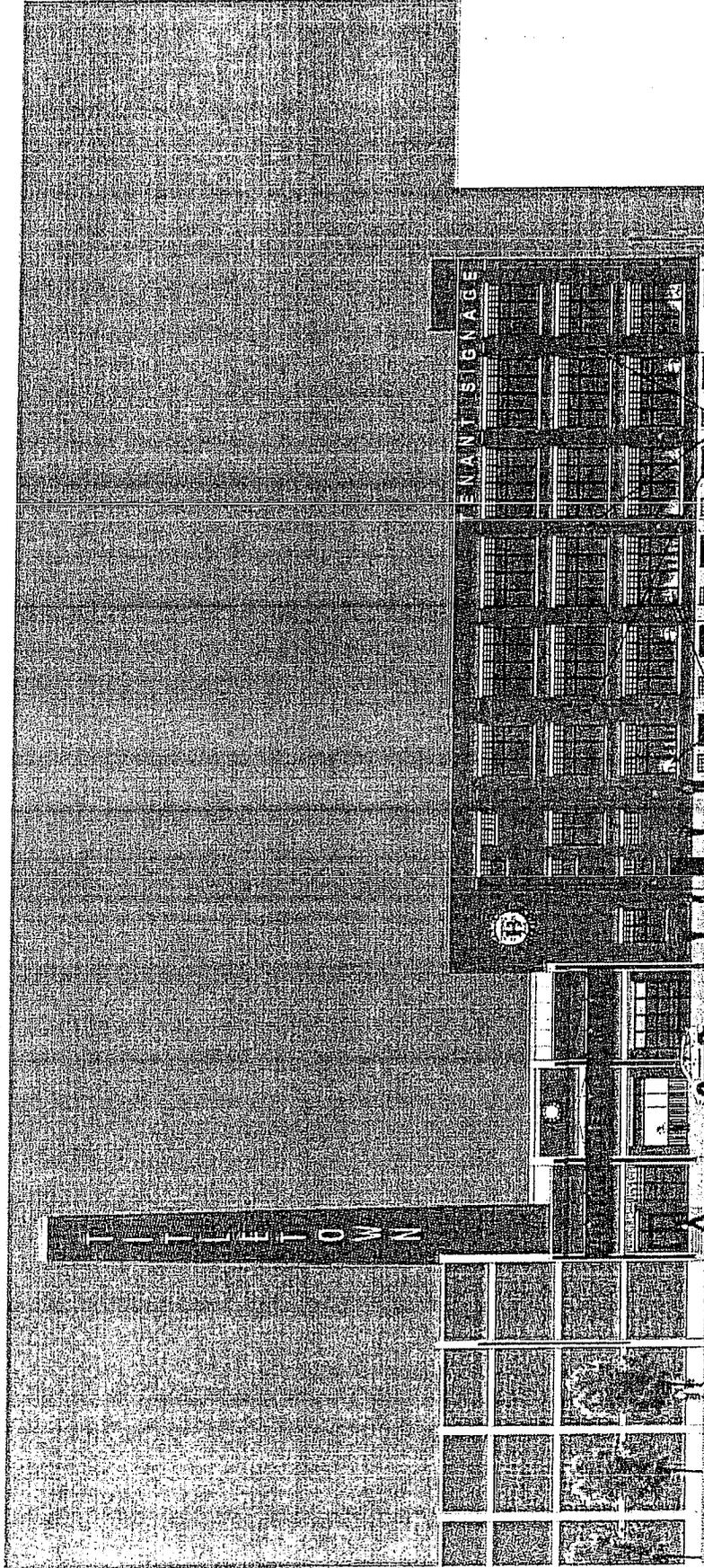
17 of 45



**SMET**  
CONSTRUCTION SERVICES

Titletown Brewery - Green Bay, WI

©2013 Purvick Payson Architects, LP - 17 July 2013 - #130152-01



Retail Banner Signage

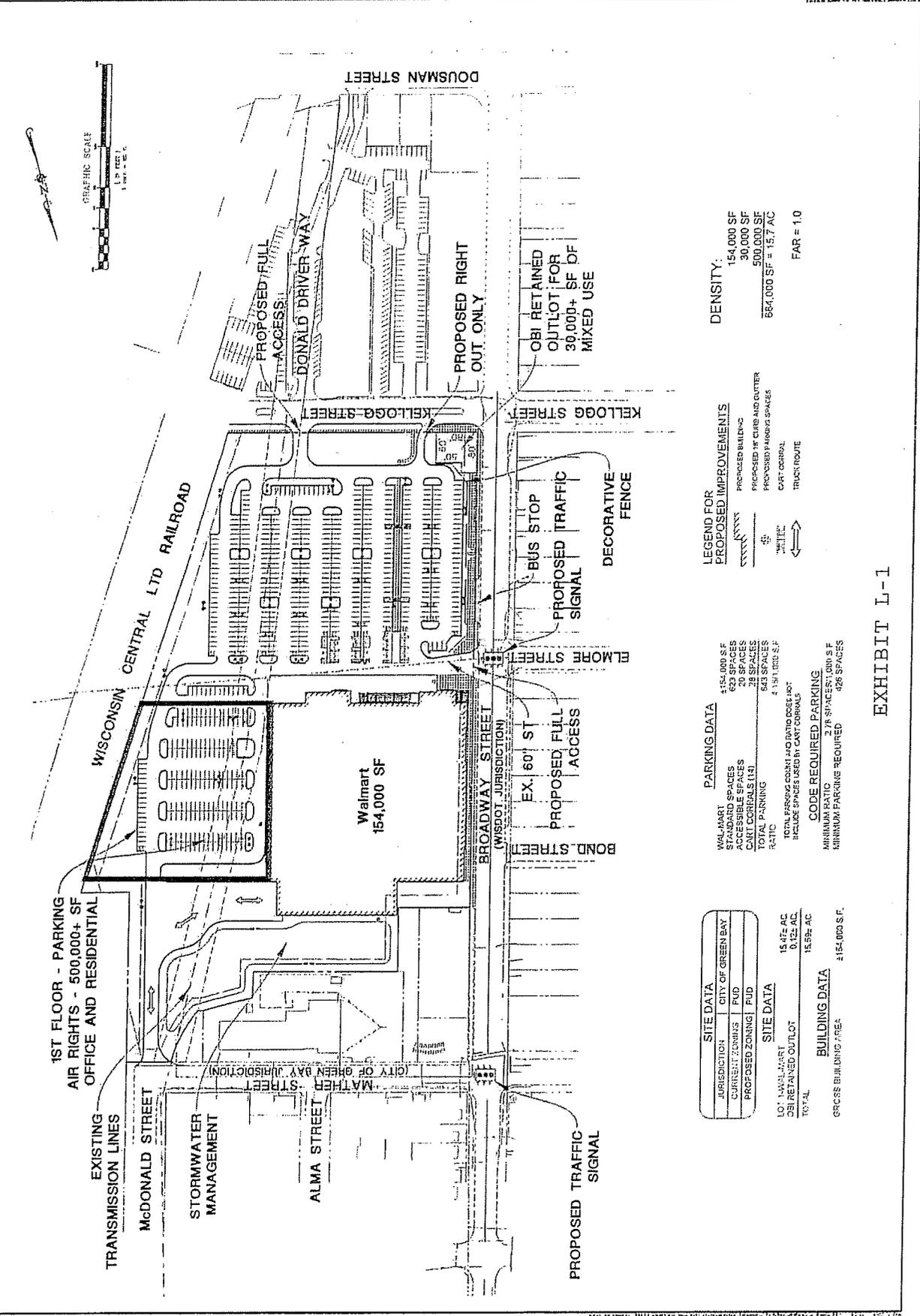
Retail Signage within Glazing

Northwest Elevational View

Exhibit K-11

**Purvick  
Payson  
Architects, LP**

17 59



1ST FLOOR - PARKING  
 AIR RIGHTS - 500,000+ SF  
 OFFICE AND RESIDENTIAL

Walmart  
154,000 SF

**DENSITY:**  
 154,000 SF  
 30,000 SF  
 500,000 SF  
 564,000 SF = 15.7 AC  
 FAR = 1.0

**LEGEND FOR PROPOSED IMPROVEMENTS**  
 [Symbol] PROPOSED BUILDING  
 [Symbol] PROPOSED WALK AND BICYCLE ROUTE  
 [Symbol] PROPOSED PARKING SPACES  
 [Symbol] CART CORRAL  
 [Symbol] TRUCK ROUTE

**PARKING DATA**  
 WAL-MART 154,000 SF  
 STANDARD SPACES 630  
 ACCESSIBLE SPACES 20  
 CART CORRALS (1:1) 28  
 TOTAL PARKING 643  
 RATIO 4.15:1,000 SF  
 TOTAL PARKING COUNT AND RATIO DOES NOT INCLUDE SPACES USED BY CART CORRALS  
**CODE REQUIRED PARKING**  
 MINIMUM RATIO 3.75 SPACES/1,000 SF  
 MINIMUM PARKING REQUIRED 426 SPACES

SITE DATA	
JURISDICTION	CITY OF GREEN BAY
CURRENT ZONING	PUD
PROPOSED ZONING	PUD

SITE DATA	
LOT 1 MAIN STREET	15.47± AC
DBI RETAINED OUTLOT	0.12± AC
TOTAL	15.59± AC

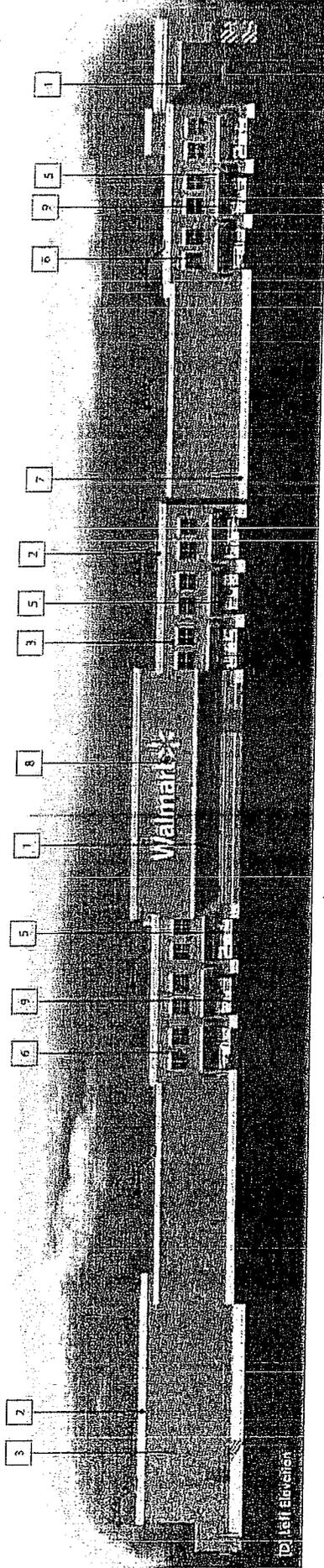
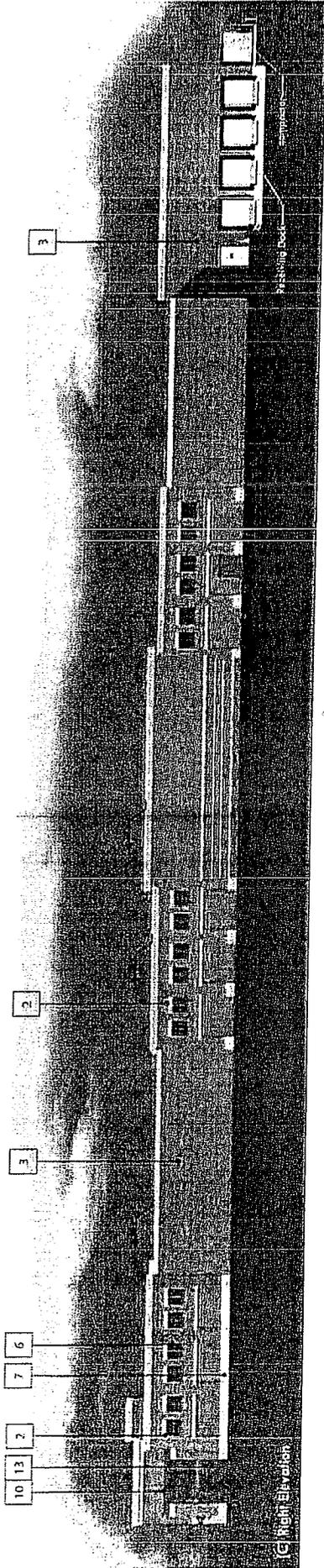
BUILDING DATA	
GROSS BUILDING AREA	154,000 S.F.

**EXHIBIT L-1**

17 AA



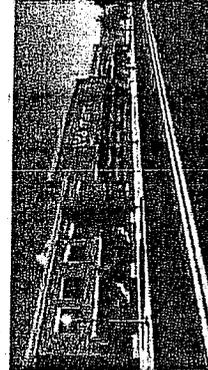




Elevation Key Notes:

1	Open Metal Framing System	11	Painted black metal screen system
2	Arch. Precast Concrete	12	Painted Hollow Metal Door
3	Quick-link (Prominade)	13	Metal Roll Down Door
4	Directional Sign	14	
5	Glass Storefront System	15	
6	Spendral Glass Storefront System	16	
7	Arch. Precast Concrete	17	
8	Illuminated Sign	18	
9	Alcial Awning System	19	
10	Metal panel	20	
		21	

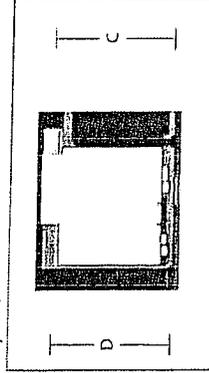
Perspective of Left:



Perspective of Right:



Key Plan:



Massa Montalto Architects, PC  
 3297 Route 66 | Neptune, NJ 07753

P: 732.918.2300 | F: 732.918.2351 | www.mma-architects.com  
 02/25/14 10:55 AM  
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Elevations [Right & Left]

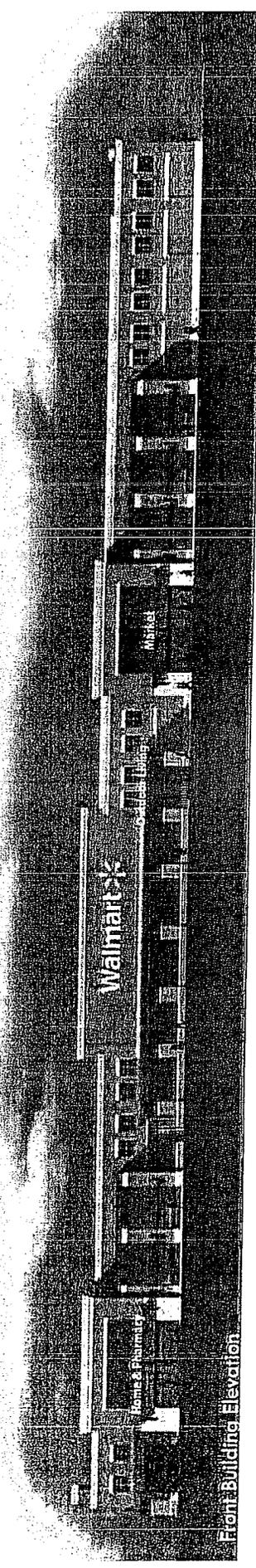
Broadway Street,  
 Green Bay, WI

| Submission: May 7, 2014 |

EXHIBIT L-4

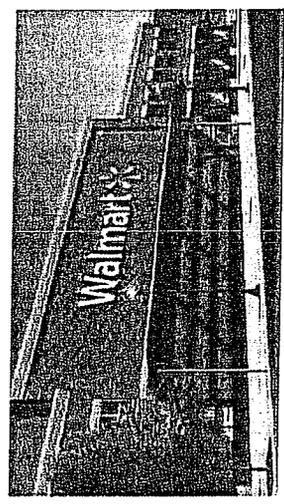
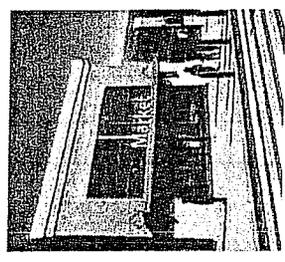
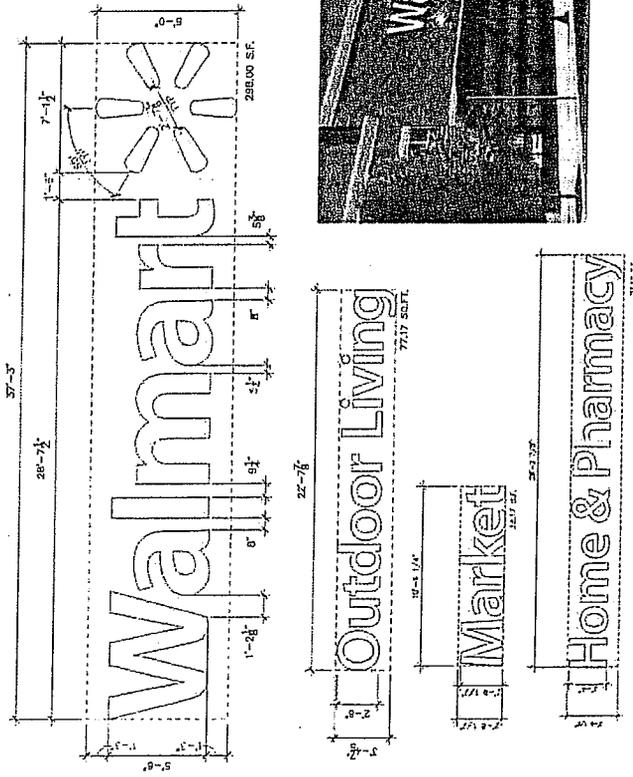
**Walmart**

17 KR



Front Building Elevation

Signage Profile and Dimensions



Signage Calculation Information

Walmart Building Associated Pylon/Monument						
Front Sign	#	Type	Color	Height	Illumination	Total Sq. Ft.
Walmart	1	Business	White	5'-6"	Channel Lit.	298.00
Spark	1	Business	Yellow	8'-0"	Channel Lit.	298.00
Market	1	Directional	White	6'-10"	n/a	28.17
Home & Pharmacy	1	Directional	White	3'-5"	n/a	97.66
Outdoor Living	1	Directional	White	3'-5"	n/a	77.17
* Front Signage Total Sq. Ft.						501.00
Front Sign	#	Type	Color	Height	Illumination	Total Sq. Ft.
Walmart	1	Business	White	5'-6"	Channel Lit.	298.00
Spark	1	Business	Yellow	8'-0"	Channel Lit.	298.00
* Right Side Signage Total Sq. Ft.						298.00
* Walmart Building Total Sq. Ft. (Excludes Site Pylon/Monument)						799.00



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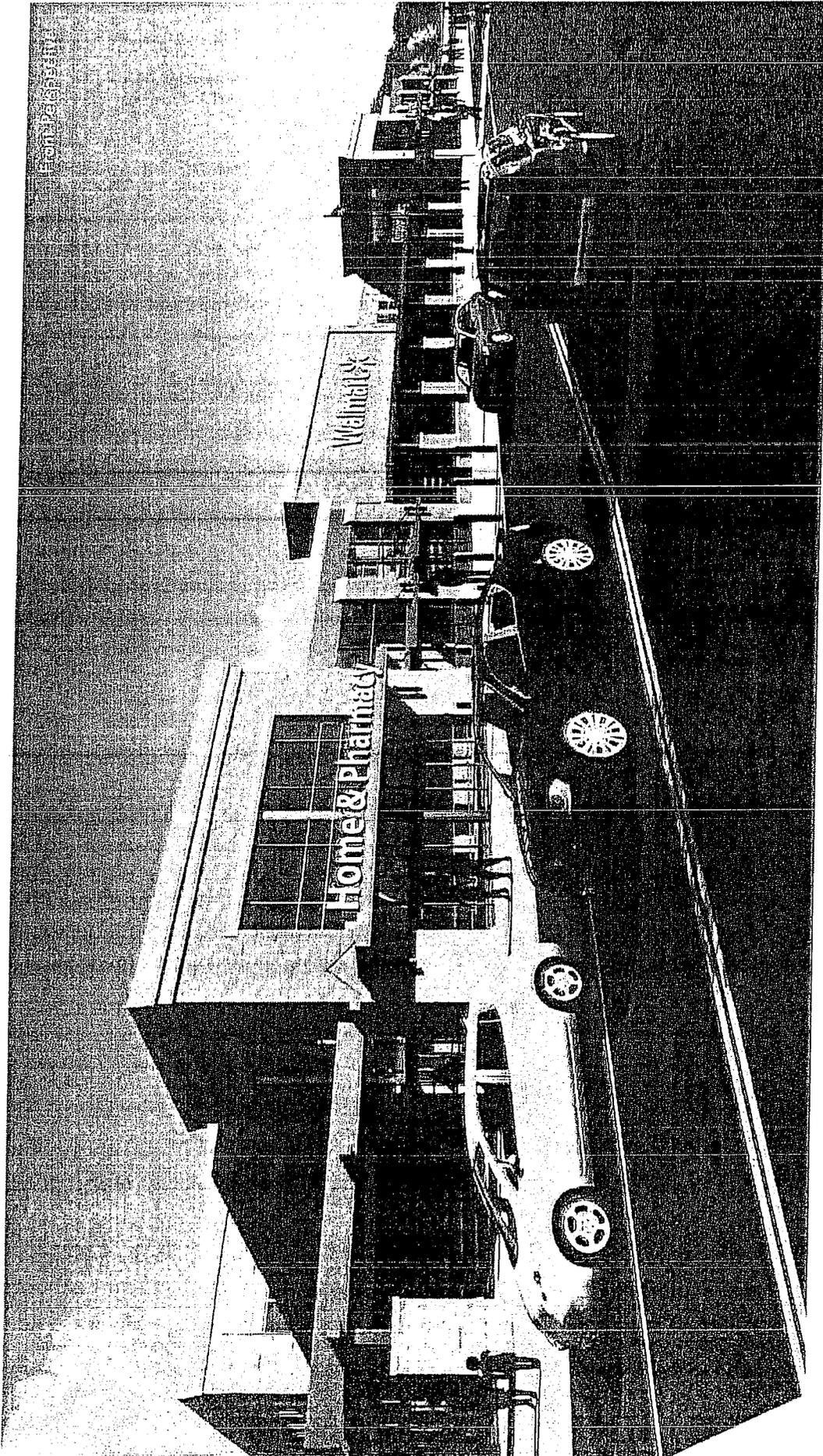
Walmart Signage Information Sheet

Submission: May 7, 2014

EXHIBIT L-5

Broadway Street.  
 Green Bay, WI  
**Walmart**

17 44



Front Perspective

Massa Montalto Architects, PC  
 3297 Route 66 | Neptune, NJ 07753

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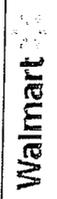


Front Perspective

| Submission: May 7, 2014 |

EXHIBIT L-6

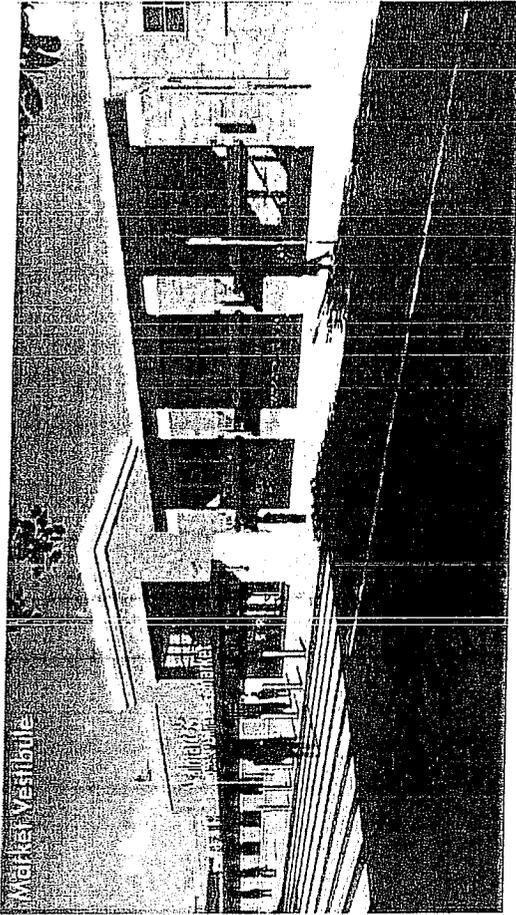
Broadway Street.  
 Green Bay, WI



17mm



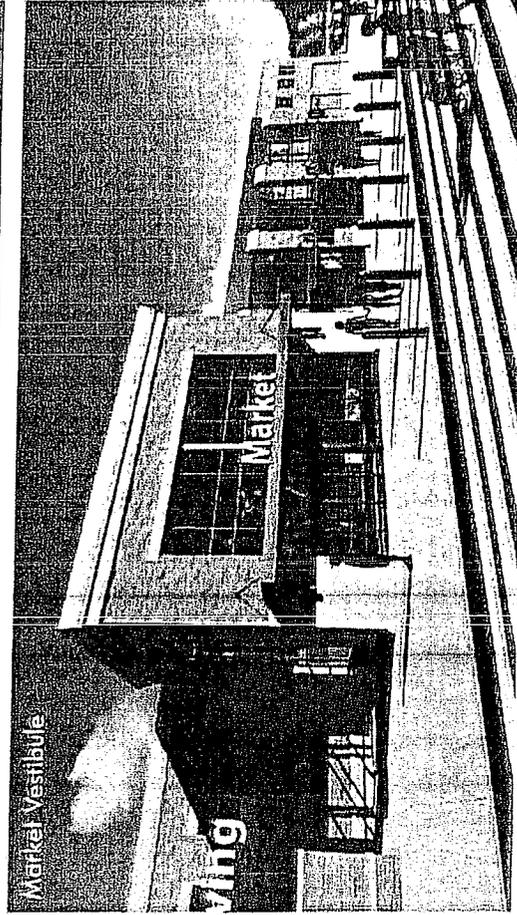
Home & Pharmacy Vestibule



Market Vestibule



Outdoor Living Area



Market Vestibule

1700



Massa Montalto Architects, PC  
3297 Route 66 | Neptune, NJ 07753

F: 732.918.2300 | E: 732.918.2351 | [www.mma-architects.com](http://www.mma-architects.com)  
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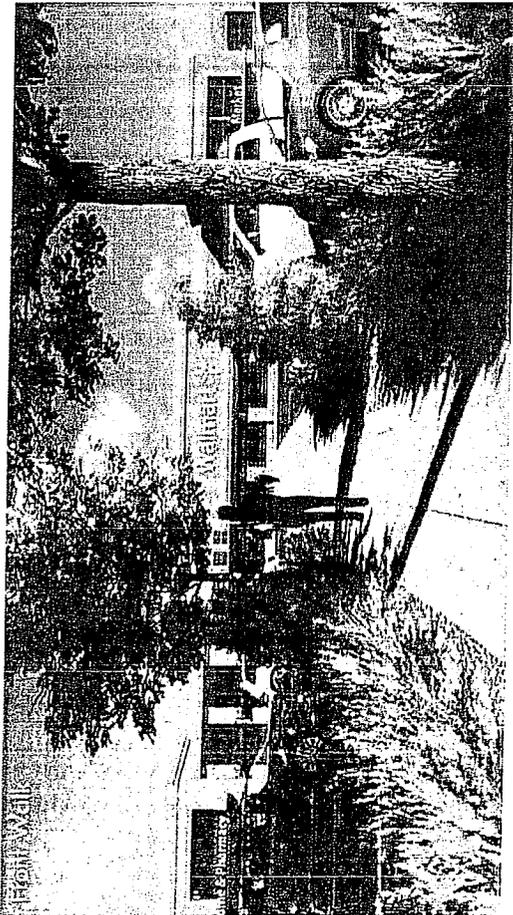
Miscellaneous Perspectives

| Submission: May 7, 2014 |

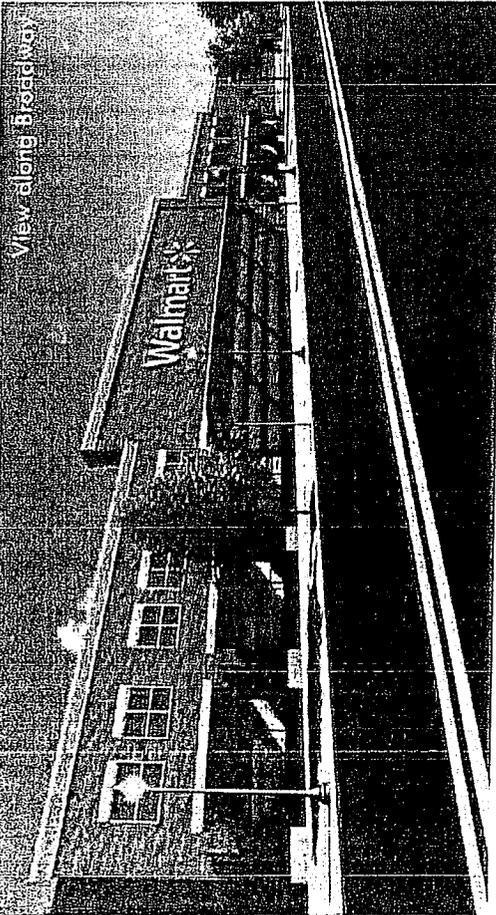
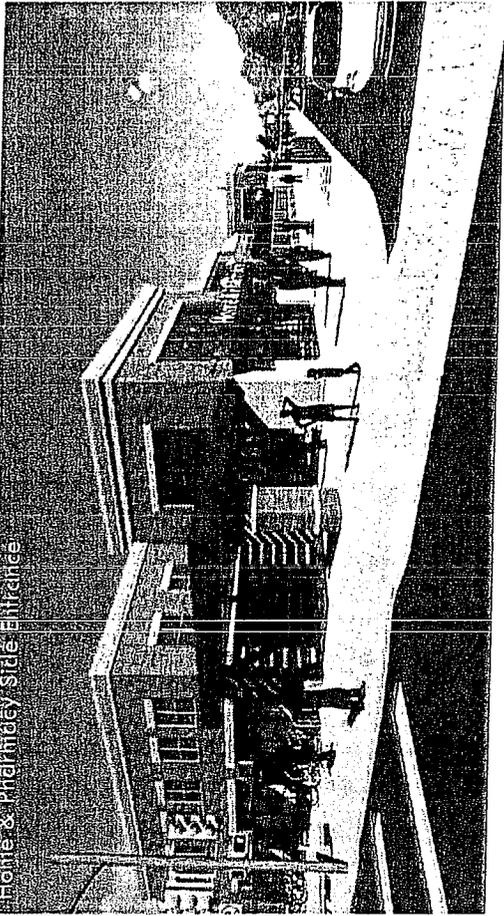
EXHIBIT L-7

Broadway Street.  
Green Bay, WI

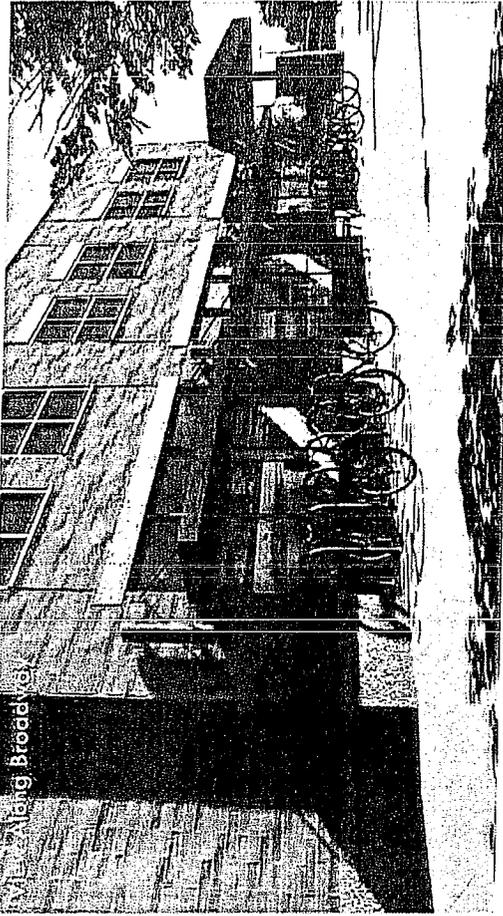
**Walmart**



Home & Pharmacy Side Entrance



View Along Broadway



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Miscellaneous Perspectives

| Submission: May 7, 2014 |

EXHIBIT L-8

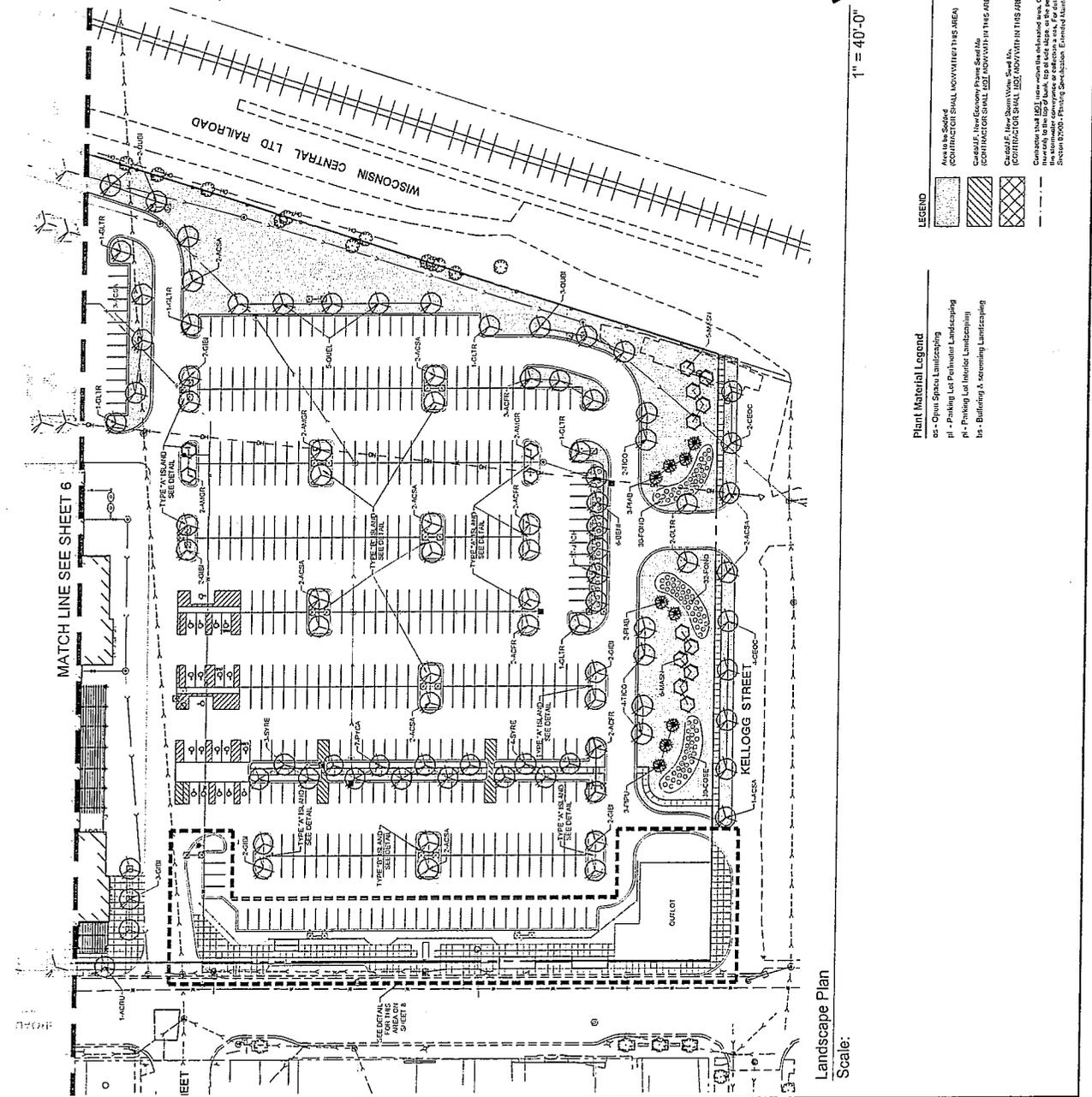
Broadway Street.  
Green Bay, WI

**Walmart**

1700



Qty	Company Name	Container/Species	Size	Comments
13	AUTUMN BURNING BUSH	1 gallon	2 1/2" DB	Planted 4'0" on center
15	NORTONWOODS RED WOOD	1 gallon	2 1/2" DB	Planted 4'0" on center
28	GREEN AND WHITE	1 gallon	2 1/2" DB	Planted 4'0" on center
12	BLACK ACER	1 gallon	2 1/2" DB	Planted 4'0" on center
3	AUTUMN BRILLIANCE SERVICE BERRY	1 gallon	2 1/2" DB	Planted 4'0" on center
3	WINE RED BLACK CHERRY	1 gallon	2 1/2" DB	Planted 4'0" on center
6	RIVER BIRCH	1 gallon	2 1/2" DB	Planted 4'0" on center
8	COLUMBIAN RED BIRCH	1 gallon	2 1/2" DB	Planted 4'0" on center
10	FRANZES RED BIRCH	1 gallon	2 1/2" DB	Planted 4'0" on center
14	CONDOUR BIRCH	1 gallon	2 1/2" DB	Planted 4'0" on center
20	HEBES COTONWOOD	1 gallon	2 1/2" DB	Planted 4'0" on center
33	STAY-GREEN COTONWOOD	1 gallon	2 1/2" DB	Planted 4'0" on center
33	BALDY RED TUDOR COTONWOOD	1 gallon	2 1/2" DB	Planted 4'0" on center
118	NORTONWOODS RED WOOD	1 gallon	2 1/2" DB	Planted 4'0" on center
21	AUTUMN GOLD	1 gallon	2 1/2" DB	Planted 4'0" on center
15	SHINER HORNWORM	1 gallon	2 1/2" DB	Planted 4'0" on center
37	GREEN BIRCH	1 gallon	2 1/2" DB	Planted 4'0" on center
11	SUNSHINE	1 gallon	2 1/2" DB	Planted 4'0" on center
15	RED FLAME GRASS	1 gallon	2 1/2" DB	Planted 4'0" on center
15	MORNING GLORY	1 gallon	2 1/2" DB	Planted 4'0" on center
15	CONCORD GREEN SPURGE	1 gallon	2 1/2" DB	Planted 4'0" on center
7	SPRINGTIME PINE	1 gallon	2 1/2" DB	Planted 4'0" on center
10	WYOMING WIRE	1 gallon	2 1/2" DB	Planted 4'0" on center
7	AUTUMN BURNING BUSH	1 gallon	2 1/2" DB	Planted 4'0" on center
17	SWAMP THICK	1 gallon	2 1/2" DB	Planted 4'0" on center
18	NORTONWOODS RED WOOD	1 gallon	2 1/2" DB	Planted 4'0" on center
37	RELIANT	1 gallon	2 1/2" DB	Planted 4'0" on center
30	FRANZES RED BIRCH	1 gallon	2 1/2" DB	Planted 4'0" on center
19	HEBES COTONWOOD	1 gallon	2 1/2" DB	Planted 4'0" on center
7	NORTONWOODS RED WOOD	1 gallon	2 1/2" DB	Planted 4'0" on center
31	TECHNICAL	1 gallon	2 1/2" DB	Planted 4'0" on center
18	ARBORETOUR	1 gallon	2 1/2" DB	Planted 4'0" on center



**Plant Material Legend**

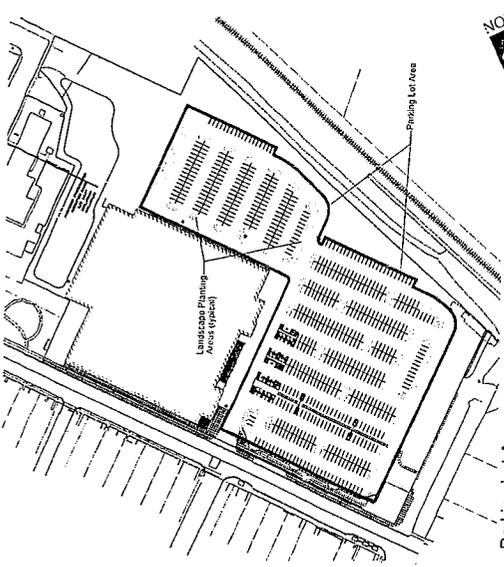
- as - Open Space Landscaping
- pl - Parking Lot Landscaping
- pl - Parking Lot Island Landscaping
- ls - Building & Screening Landscaping

**LEGEND**

- Area to be Seeded (CONTRACTOR SHALL VERIFY WITH THE AREA)
- Grass (CONTRACTOR SHALL VERIFY WITH THE AREA)
- Grass (CONTRACTOR SHALL VERIFY WITH THE AREA)

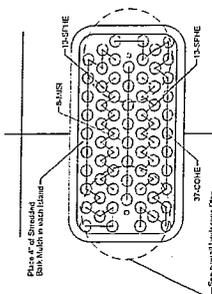
**SEAL**  
 Wisconsin Registered Landscape Architect L44172

1788

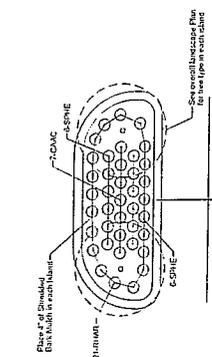


**Parking Lot Area**  
 No Scale

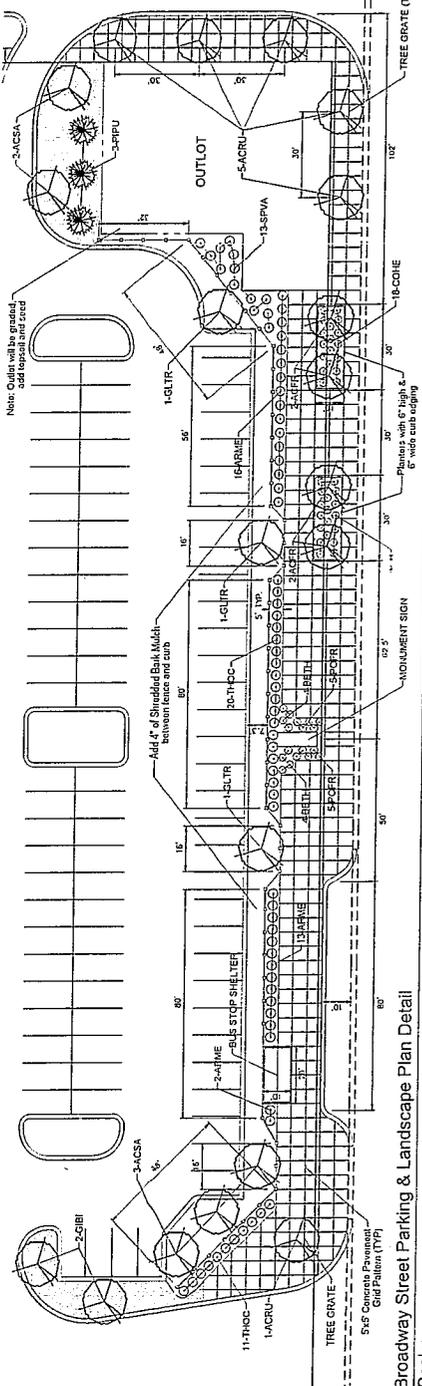
City of Green Bay  
 Required Landscaping  
 10% of portion of parking lot shall be landscaped in accordance with the following:  
 Total Parking Area: 200,000 sq. ft. (approx.)  
 Required 10% Landscaping Area: 20,000 sq. ft. (approx.)  
 Planting Area on Plan: 54,381.71 square feet (11.42%)  
 1 tree per 15 square feet required  
 3,625 trees required  
 1,422,861 + 425 square feet required  
 Trees on Plan within parking area: 242



**Type "B" Island Planting Detail (6 Total)**  
 Scale: 1" = 10'-0"



**Type "A" Island Planting Detail (17 Total)**  
 Scale: 1" = 10'-0"



**Broadway Street Parking & Landscape Plan Detail**  
 Scale: 1" = 20'-0"



**SEAL**  
 Professional Engineer  
 Wisconsin Registered Landscape Architect LA-172

17 10

GENERAL ORDINANCE NO. 12-14

AN ORDINANCE  
AMENDING SECTION 29.208,  
GREEN BAY MUNICIPAL CODE,  
RELATING TO PARKING REGULATIONS

THE COMMON COUNCIL OF THE CITY OF GREEN BAY DOES ORDAIN AS FOLLOWS:

**SECTION 1.** Section 29.208, Green Bay Municipal Code, is hereby amended by removing therefrom the following TWO-HOUR PARKING 7:00 AM – 7:00 PM DAILY zone:

BASTEN STREET, south side, from a point 95 feet east of Henry Street to Mech Street

**SECTION 2.** Section 29.208, Green Bay Municipal Code is hereby amended by adding thereto the following TWO-HOUR PARKING 7:00 AM – 7:00 PM DAILY zone:

BASTEN STREET, south side, from a point 95 feet east of Henry Street to a point 150 feet east of Mech Street

**SECTION 3.** Section 29.208, Green Bay Municipal Code, is hereby amended by removing therefrom the following NO PARKING zone:

MECH STREET, both sides, from Basten Street to a point 60 feet north of Basten Street

**SECTION 4.** Section 29.208, Green Bay Municipal Code, is hereby amended by adding thereto the following NO PARKING zones:

MECH STREET, west side, from Basten Street to a point 60 feet north of Basten Street

MECH STREET, east side, from Basten Street to a point 135 feet north of Basten Street

**SECTION 5.** Section 29.208, Green Bay Municipal Code, is hereby amended by removing therefrom the following FOUR-HOUR PARKING 7:00 AM – 4:00 PM MONDAY – FRIDAY zone:

MECH STREET, both sides, from a point 60 feet north of Basten Street to a point 135 feet south of Van Deuren Street

**SECTION 6.** Section 29.208, Green Bay Municipal Code, is hereby amended by adding thereto the following FOUR-HOUR PARKING 7:00 AM – 4:00 PM MONDAY – FRIDAY zones:

MECH STREET, west side, from a point 60 feet north of Basten Street to a point 135 feet south of Van Deuren Street

MECH STREET, east side, from a point 135 feet north of Basten Street to a point 135 feet south of Van Deuren Street

**SECTION 7.** Section 29.208, Green Bay Municipal Code, is hereby amended by adding thereto the following NO PARKING 7:00 AM – 4:00 PM SCHOOL DAYS zone:

BASTEN STREET, south side, from Newtols Street to a point 135 feet west of Spinnaker Lane

**SECTION 8.** Section 29.208, Green Bay Municipal Code, is hereby amended by adding thereto the following NO STOPPING OR STANDING 7:00 AM – 4:00 PM SCHOOL DAYS zones:

BASTEN STREET, north side, from a point 115 feet west of Spinnaker Lane to Spinnaker Lane

SPINNAKER LANE, both sides, from Basten Street to a point 75 feet north of Basten Street

**SECTION 9.** All ordinances, or parts of ordinances, in conflict herewith are hereby repealed.

**SECTION 10.** This ordinance shall take effect on and after its passage and publication.

Dated at Green Bay, Wisconsin this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Clerk

bc

05/20/14

GENERAL ORDINANCE NO. 13-14

AN ORDINANCE  
AMENDING CHAPTER 13,  
GREEN BAY MUNICIPAL CODE,  
REGARDING THE REGULATION OF  
SOLAR ENERGY SYSTEMS  
(TA 14-01)

THE COMMON COUNCIL OF THE CITY OF GREEN BAY DOES ORDAIN AS FOLLOWS:

**SECTION 1.** Sections 13-1611(c) and (d), Green Bay Municipal Code, is hereby amended as follows:

**13-1611. Development Standards – Solar Energy Systems.** (Cr. GO 9-12)

(c) Roof-mounted Solar Energy System

(1) The collector surface and mounting devices for roof-mounted solar systems shall not extend beyond the exterior perimeter of the building roof and shall not exceed the highest point of the roof line on which the system is mounted or built. ~~Flat roof systems are permitted and will require screening consistent with this ordinance to minimize the overall height of systems.~~ Exterior piping for solar hot water systems shall be allowed to extend beyond the perimeter of the building roof on a side yard exposure.

~~(2) The solar system must blend into the building on which the system is mounted by being sufficiently setback from public right of ways or screened from view from the right of way, or by using a surface collector color that blends into the roof or wall color of the building as seen from the public right of way.~~

(d) Code Compliance

- (1) A solar energy system shall comply with all applicable state and local construction, electrical and plumbing codes, where applicable.
- (2) Solar energy systems that connect to the electric utility shall comply with the Public Service Commission of Wisconsin's Rule 119, "Rules for Interconnecting Distributed Generation Facilities."
- (3) The design of the Solar Energy System shall conform to applicable industry standards.
- (4) No grid-intertie photovoltaic system shall be installed until evidence has been given to the Green Bay Building Inspection Department that the owner has submitted notification to Wisconsin Public Service Corporation of the customer's intent to install an intereconnected customer owned generator the required PSC6027 or PSC6028 form to Wisconsin Public Service. Off-grid systems are exempt from this requirement.

SECTION 2. Section 13-614, Table 6-3, Green Bay Municipal Code, is hereby amended as follows:

13-614. Permitted accessory uses.

Table 6-3. Permitted Nonresidential Accessory Uses in the Residential Districts

Use	RR	R1, R2	R3	Dev. Stds.
<b>Uses Accessory to Dwellings</b>				
<b>Uses Accessory to Nonresidential Uses</b>				
Antennas, satellite dishes, and similar equipment	P	P	P	X
Parking (surface)	P	P	P	
Parking (structured)		C	P	X
Signs, as regulated by Chapter 13-2000, Signs.	P	P	P	
Small wind energy system (Cr. GO 1-11)	C	C	C	X
Solar Energy System <u>Flush Roof Mount</u> (Cr. GO 9-12)	P	<u>C</u> <u>P</u>	P	
<u>Solar Energy System Other Than Flush Roof Mount</u>	<u>P</u>	<u>C</u>	<u>P</u>	<u>X</u>
Telecommunication facilities	C	C	C	X
Waste and recycling storage	P	P	P	X

Note: P = Permitted Use; C = Conditional Use

SECTION 3. All ordinances, or parts of ordinances, in conflict herewith are hereby repealed.

SECTION 4. This ordinance shall not take effect until a public hearing is held thereon as provided by Section 13-204, Green Bay Municipal Code, and the adoption and publication of this ordinance.

Dated at Green Bay, Wisconsin this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

APPROVED:

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Clerk

bc

05/20/14

ZONING ORDINANCE NO. 5-14

AN ORDINANCE  
AMENDING ZONING ORDINANCE NO. 12-11 TO  
EXPAND THE BREWING OPERATION  
AT 990 TONY CANADEO RUN FOR  
BADGER STATE BREWING CO, LLC, AND  
THE ELIMINATION OF OFF-PREMISE SIGNAGE  
(ZP 14-18)

THE COMMON COUNCIL OF THE CITY OF GREEN BAY DOES ORDAIN AS FOLLOWS:

**SECTION 1.** Section 13-108, Green Bay Municipal Code, together with the zoning map referred to therein, is hereby amended by modifying the Planned Unit Development District on the following described property at 990 Tony Canadeo Run:

PART OF LOT 9 MORRIS & BROMLEYS SUBD OF S1/2 PC 13  
WSFR & PART OF PC 14 & 15 WSFR AS DESC IN 673 R 126 EX 669  
R 91 & EX J1546-30 & EX J15079-24 (Tax Parcel Number 1-1841-C)

**SECTION 2.** Pursuant to Section 13-1900, et seq., Green Bay Municipal Code, as they apply, the following conditions are imposed:

- A. Purpose and Intent. The purpose and intent of the Planned Unit Development (PUD) is to permit the expansion of the current brewery and to continue the transition of the subject area from industrial to commercial uses. The expansion and occupancy of the site shall generally comply with Exhibits A and B.
- B. Permitted Uses. The land uses which may be established and/or maintained on the subject property are as follows:
  1. Micro brewing and related processing.
  2. Restaurant, tasting room and event space in conjunction with the brewery.
- C. Dimensional and Area Requirements. Dimensional and area requirements for principle and accessory structures on the subject property shall be as required in the C1 – General Commercial District as set forth in Section 13-800, Green Bay Municipal Code.
- D. Lighting. All lighting on the subject property shall be regulated as set forth in Section 13-500, Green Bay Municipal Code.
- E. Signage. All signage for the current project shall be regulated as illustrated in Exhibit A.
  - A. Banners and streamers are strictly prohibited.

F. Site Plan Standards.

1. A site plan shall be submitted and reviewed per Chapter 13-1800, Green Bay Municipal Code.
2. All service, loading and refuse areas shall be screened per Chapter 13-1813, Green Bay Municipal Code.
3. Any ground-mounted and/or roof-mounted mechanicals shall be screened compliant with Chapter 13-1815, Green Bay Municipal Code.

~~G. Off-Premise Directional Signage. In order to promote visibility for the existing businesses located on Tony Canadeo Run while the area is not yet fully developed, one off-premise directional sign shall be permitted for a one-year period in the location shown on Exhibit A. Such signage shall be limited and controlled in order to prevent a proliferation of off-premise directional signage and shall meet the following requirements:~~

- ~~1. The materials, color, appurtenant landscaping, and overall design shall be generally consistent with that shown in Exhibit B.~~
- ~~2. The maximum area of the sign face shall be 6 square feet per side for a total of 12 square feet.~~
- ~~3. Sign height shall not exceed 6 feet.~~
- ~~4. If lighted, the sign shall utilize external illumination.~~
- ~~5. The sign shall be located on private property (outside of the right-of-way) and outside of any required vision corner.~~
- ~~6. The sign may be located inside the front or side yard setback areas but shall be located so as to not obstruct traffic views of vehicles or pedestrians or in any way create a safety hazard.~~
- ~~7. A written agreement between the owner(s) of Tax Parcel Number 1-1841-C and those businesses identified on the sign shall be submitted with the sign permit application and maintained as long as the sign is present. An easement is the preferred form of agreement.~~
- ~~8. If the timeframe of this PUD is not extended as described under Section 2.I, then the sign shall be removed at the time that the PUD expires, is rescinded, or is otherwise modified to affect the allowance for off-premise directional signage.~~

**SECTION 3.** The provisions of this ordinance, including, without limitation, the granting of a conditional-use permit and all obligations, conditions, restrictions, and limitations related thereto shall run with and be jointly and severally binding upon the fee simple owner and the beneficial owner of all or any portion of the subject property. All obligations, requirements, and rights of the owner shall run with the land and shall automatically be assigned to be binding upon and inure to the benefit of its successors and assigns, including, but not limited to, any entity acquiring any financial interest in the subject property and/or any subsequent owner and/or beneficial owner of all or any portion of the subject property.

**SECTION 4.** Each exhibit which is attached to this ordinance is deemed to be and is expressly made a part of and incorporated into this ordinance to the same extent as if each such exhibit and the plans identified therein had been set forth in its entirety in the body of this ordinance.

**SECTION 5.** All ordinances or parts of ordinances in conflict herewith are hereby repealed.

**SECTION 6.** In addition to all other remedies available to the City of Green Bay, the City may decline to issue any building or other permits otherwise required by any ordinance of this City while any violation of this ordinance remains uncured.

**SECTION 7.** If any provision in this ordinance is held invalid or unconstitutional by any court of competent jurisdiction, such a decision shall not affect the validity of any other provision of this ordinance. It is hereby declared to be the intention of the City of Green Bay that all provisions of this ordinance are separable.

**SECTION 8.** This ordinance shall not take effect until a public hearing is held thereon as provided by Section 13-204, Green Bay Municipal Code, and the adoption and publication of this ordinance.

Dated at Green Bay, Wisconsin, this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

APPROVED:

\_\_\_\_\_  
Mayor

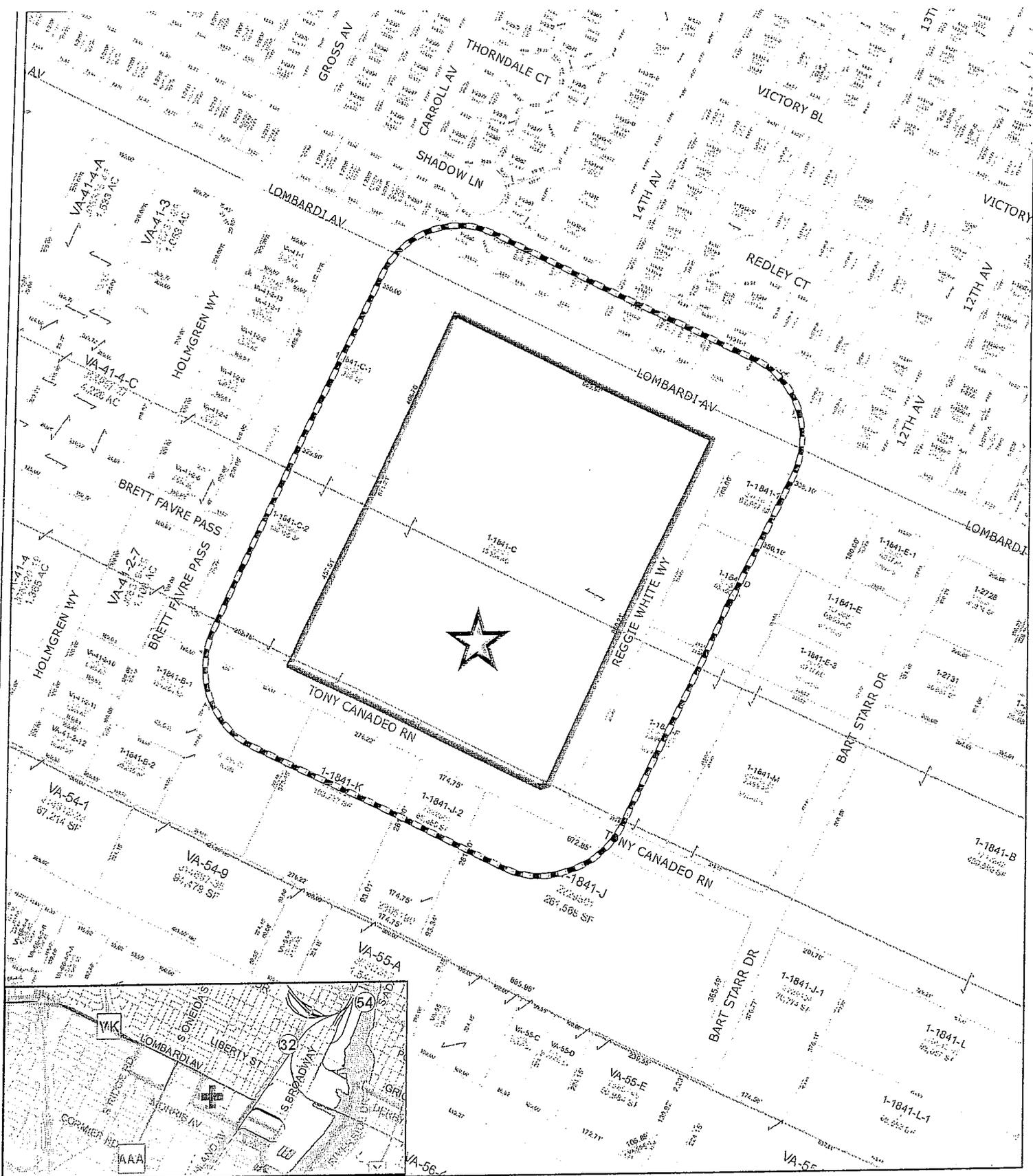
ATTEST:

\_\_\_\_\_  
Clerk

PN:bc

Attachments: Location Map  
Exhibit A – Building Elevations  
Exhibit B – Floor Plan

206



**Zoning Petition (ZP 14-18)**  
**Request to amend the Planned Unit Development (PUD)**  
**for an expansion of Badger Street Brewing, 990 Tony Canadeo Way**

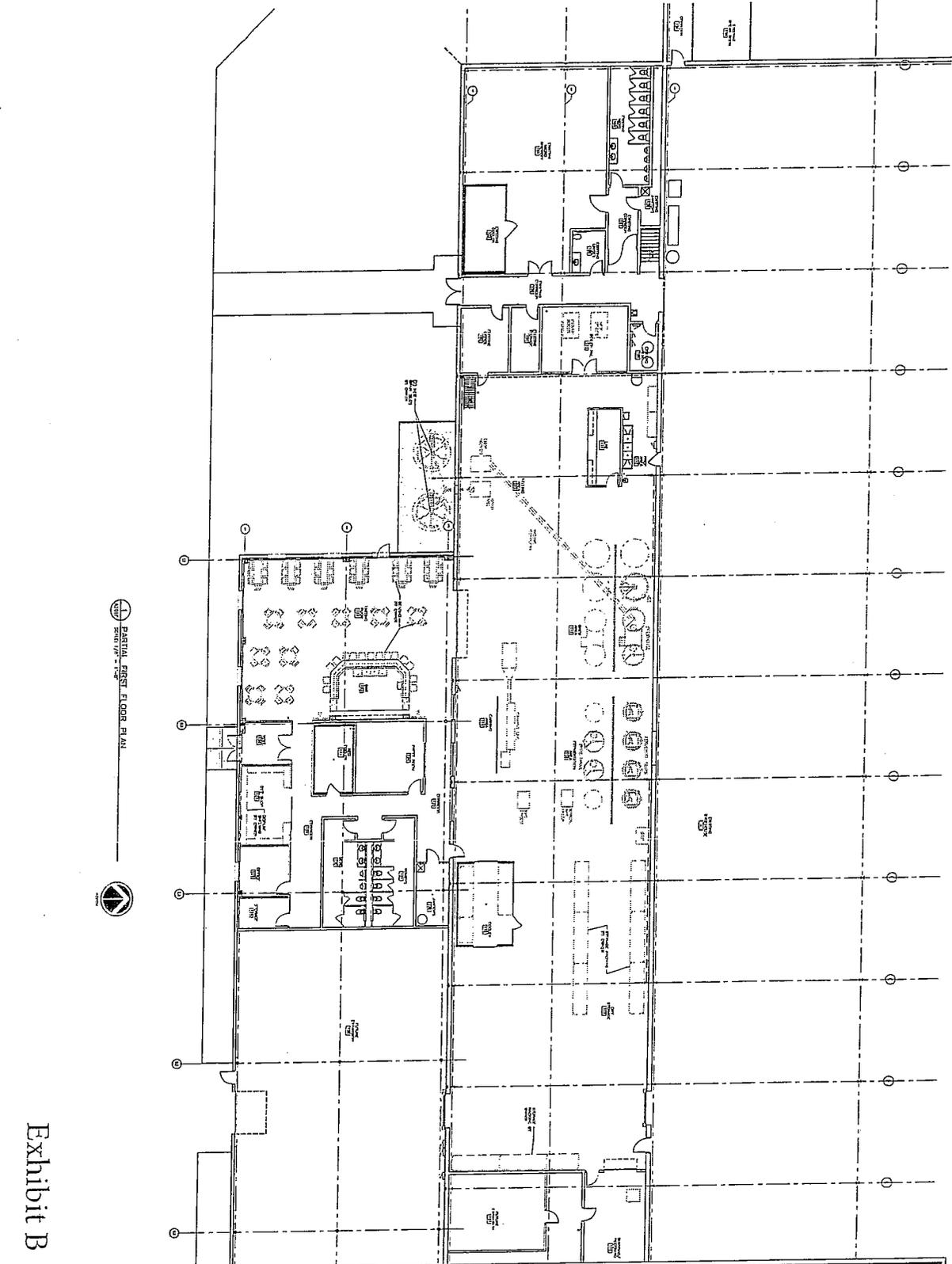
*This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied.*  
 Map prepared by City of Green Bay Planning Department  
 P14 April 2014 - PlanningCityZPHaps12014ZP14-18



- Subject Area
- 200' Notice Area

200






  
 PARTIAL FIRST FLOOR PLAN

Exhibit B

<p>   <b>ICONICA</b>  <small>Time Right - Right Time</small> </p>	<p> <b>BADGER STATE BREWING COMPANY</b>  <small>9931 10TH ELMHURST RD GREENBAY, WI 54304</small> </p> <p> <b>BADGER STATE BREWING COMPANY, LLC</b>  <small>9931 10TH ELMHURST RD GREENBAY, WI 54304</small> </p>	<p> <small>           PROJECT NO. 10000000000000000000            SHEET NUMBER            A201F            DATE         </small> </p>
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200

ZONING ORDINANCE NO. 6-14

AN ORDINANCE  
CREATING A PLANNED UNIT DEVELOPMENT  
FOR A MINOR AND MAJOR AUTO REPAIR  
AT 1253-1257 WEST MASON STREET  
(ZP 14-17)

THE COMMON COUNCIL OF THE CITY OF GREEN BAY DOES ORDAIN AS FOLLOWS:

**SECTION 1.** Section 13-108, Green Bay Municipal Code, together with the zoning map referred to therein, is hereby amended by establishing a Planned Unit Development District on the following described property at 1253-1257 West Mason Street:

LOT 2 OF 22 CSM 329 BNG PRT OF W 10 AC OF LOT 26 OF  
CLA TANK'S SUBD OF PC 2-9 WSFR (Tax Parcel Number  
2-56-A)

**SECTION 2.** Pursuant to Section 13-1900, et seq., Green Bay Municipal Code, as they apply, the following conditions are imposed:

A. Purpose and Intent. The purpose and intent of this Planned Unit Development (PUD) is to address the mixture of minor/major auto repair, retail sale of auto accessories and the sale of vehicles on the subject site and minimize any impact on surrounding properties.

B. Permitted Uses. The land uses which may be established on the subject property are as follows:

1. Minor and major auto repair as permitted in Chapter 13, Green Bay Municipal Code.
2. Retail operations as permitted under the General Commercial (C1) District, Chapter 13-800, Green Bay Municipal Code.
3. No more than 10 vehicles are permitted on-site for sale at any one time.
4. Any expansion of the use will require an amendment to the PUD.

C. Uses of Limitations.

1. No outdoor storage will be permitted. All vehicle parts and tires shall be stored inside of an enclosed building.
2. Compliance with the submitted operations plan and submitted site plan.

3. At the discretion of the Common Council, Plan Commission, or the Planning Director, if there are complaints and/or zoning violations, they may require a review by the Plan Commission and Common Council to ensure compliance with the standards of this ordinance.
4. Parking shall be delineated for customers and employees, as well as the display of vehicles for sale.
5. Every effort shall be made to keep vehicles waiting for repair within the building. Customer vehicles waiting for repair may be permitted outside of the building but shall be limited to no more than two designated parking spaces on the final site plan; each vehicle shall be parked no more than 5 days in a row and shall be screened from view from any residential property.

D. Dimensional and Area Requirements. Dimensional and area requirements for principal and accessory structures on the subject property shall be as required in the C1 – General Commercial District as set forth in Section 13-800, Green Bay Municipal Code.

E. Lighting. All lighting on the subject property shall be regulated as set forth in Section 13-500, Green Bay Municipal Code.

F. Signage. All signage on the subject property shall be regulated as set forth in Sections 13-2004 and 13-2010, Green Bay Municipal Code. Banners and streamers are strictly prohibited.

G. Site Plan Standards.

1. A site plan shall be submitted and reviewed per Chapter 13-1800, Green Bay Municipal Code.
2. All service, loading and refuse areas shall be screened per Chapter 13-1813, Green Bay Municipal Code.
3. The building façade shall be free of any chipping and peeling paint. Any façade repairs shall be made within one year of approval of this ordinance.
4. Any ground-mounted and/or roof-mounted mechanicals shall be screened compliant with Chapter 13-1815, Green Bay Municipal Code.

H. Tilkens Street Transitional Yard Buffer.

1. The existing 25 foot building, parking setback and landscape buffer along Tilkens Street shall retain existing vegetation and shall be maintained to minimize unsightly growth.
2. A detailed landscape plan shall be submitted as part of the site plan review. Mature trees, shrubs and other planting shall be inserted in blank areas along the landscape buffer area as approved by the Zoning Administrator.
3. Any break areas for employees shall be screened from the Tilkens Street right-of-way.
4. The existing chain-link fence along Tilkens Street shall remain and existing slats in the fence shall be replaced to create a barrier 90 percent impervious to sight.

**SECTION 3.** The provisions of this ordinance, including, without limitation, the granting of a conditional-use permit and all obligations, conditions, restrictions, and limitations related thereto shall run with and be jointly and severally binding upon the fee simple owner and the beneficial owner of all or any portion of the subject property. All obligations, requirements, and rights of the owner shall run with the land and shall automatically be assigned to be binding upon and inure to the benefit of its successors and assigns, including, but not limited to, any entity acquiring any financial interest in the subject property and/or any subsequent owner and/or beneficial owner of all or any portion of the subject property.

**SECTION 4.** Each exhibit which is attached to this ordinance is deemed to be and is expressly made a part of and incorporated into this ordinance to the same extent as if each such exhibit and the plans identified therein had been set forth in its entirety in the body of this ordinance.

**SECTION 5.** All ordinances or parts of ordinances in conflict herewith are hereby repealed.

**SECTION 6.** In addition to all other remedies available to the City of Green Bay, the City may decline to issue any building or other permits otherwise required by any ordinance of this City while any violation of this ordinance remains uncured.

**SECTION 7.** If any provision in this ordinance is held invalid or unconstitutional by any court of competent jurisdiction, such a decision shall not affect the validity of any other provision of this ordinance. It is hereby declared to be the intention of the City of Green Bay that all provisions of this ordinance are separable.

**SECTION 8.** This ordinance shall not take effect until a public hearing is held thereon as provided by Section 13-204, Green Bay Municipal Code, and the adoption and publication of this ordinance.

Dated at Green Bay, Wisconsin, this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

APPROVED:

\_\_\_\_\_  
Mayor

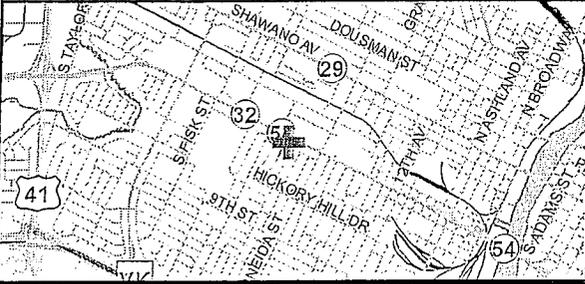
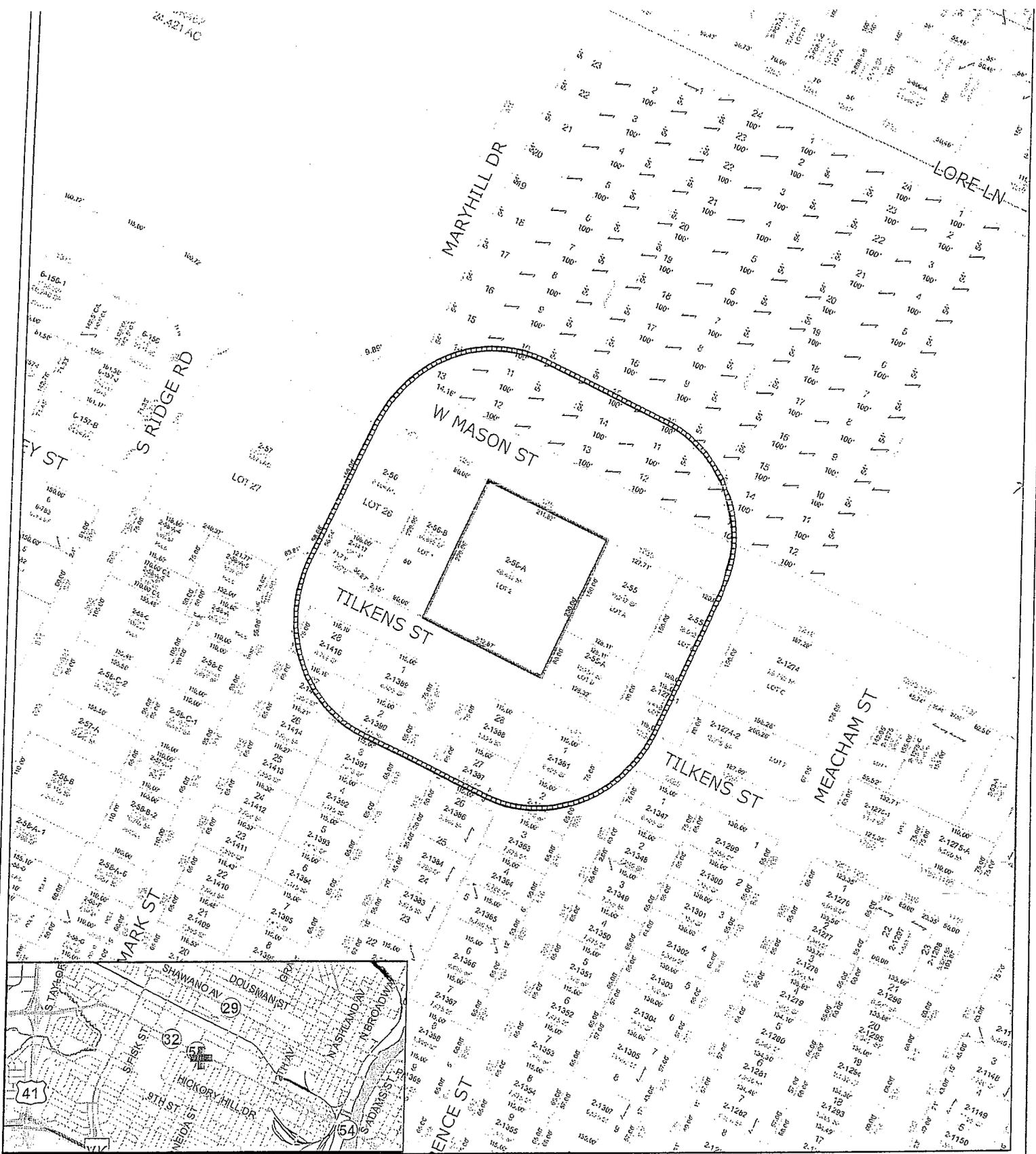
ATTEST:

\_\_\_\_\_  
Clerk

PN:bc

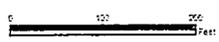
Attachment – Location Map

24.421 AC



**Zoning Petition (ZP 14-17)**  
**Request to create a Planned Unit Development (PUD) at**  
**1253-1257 West Mason Street to permit minor and major auto repair**

*This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied. Map prepared by City of Green Bay Planning Department P.K. May 2014. \Planning\City\ZPM\Maps\2014\ZP14-17*



-  Subject Area
-  200' Notice Area

21d