

ZONING ORDINANCE NO. 17-13

AN ORDINANCE
AMENDING ZONING ORDINANCE NO. 16-97 FOR
MODIFIED SIGNAGE AT 2926 FINGER ROAD
(ZP 13-36)

THE COMMON COUNCIL OF THE CITY OF GREEN BAY DOES ORDAIN AS FOLLOWS:

SECTION 1. Pursuant to Section 13-108, Green Bay Municipal Code, together with the zoning map and statutory authority referred to therein, the Planned Unit Development created by Zoning Ordinance No. 16-97 is hereby amended on the following described property located at 2926 Finger Road:

LOT 3 OF 37 CSM 41 BNG PART OF NW1/4 NE1/4 SEC 10
T23N R21E & E 12 FT OF LOT 2 OF SD CSM EX 2476974 (Tax
Parcel No. 21-144-8)

SECTION 2. That pursuant to Section 13-1900, et seq., Green Bay Municipal Code, as they apply, Zoning Ordinance No. 16-97 is hereby amended to allow the following changes:

A. Signage

1. A wall sign is permitted to be placed on the south side of the building facing East Mason Street.
2. The sign shall not exceed 30 square feet in overall size, be mounted flush to the wall and may not be illuminated.

B. All other standards of City of Green Bay Municipal Code.

SECTION 3. The provisions of this ordinance, including, without limitation, the granting of a conditional-use permit and all obligations, conditions, restrictions and limitations related thereto, shall run with and be jointly and severally binding upon the fee simple owner and the beneficial owner of all or any portion of the subject property. All obligations, requirements, and rights of the owner shall run with the land and shall automatically be assigned to be binding upon and inure to the benefit of its successors and assigns, including, but not limited to, any entity acquiring any financial interest in the subject property and/or any subsequent owner and/or beneficial owner of all or any portion of the subject property.

SECTION 4. All ordinances or parts of ordinances, in conflict herewith are hereby repealed.

SECTION 5. In addition to all other remedies available to the City of Green Bay, the City may decline to issue any building or other permits otherwise required by any ordinance of this City while any violation of this ordinance remains uncured.

SECTION 6. If any provision in this ordinance is held invalid or unconstitutional by any court of competent jurisdiction, such a decision shall not affect the validity of any other provision of this ordinance. It is hereby declared to be the intention of the City of Green Bay that all provisions of this ordinance are separable.

SECTION 7. This ordinance shall not take effect until a public hearing is held thereon as provided by Section 13-204, Green Bay Municipal Code, and the adoption and publication of this ordinance; and has no financial impact on the City.

Dated at Green Bay, Wisconsin this _____ day of _____, 2014.

APPROVED:

Mayor

ATTEST:

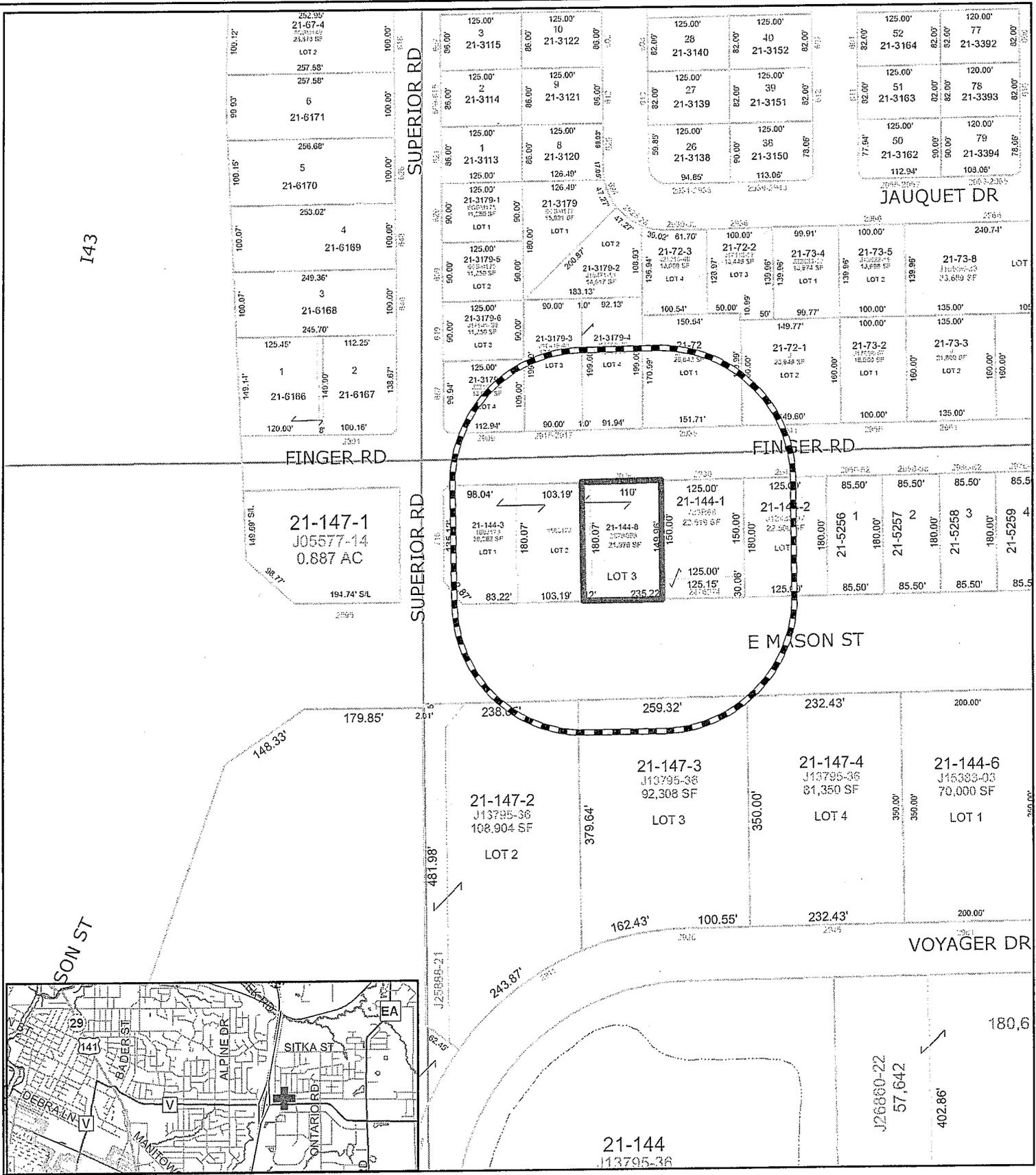
Clerk

PN:bc

Attachment - Map

12/17/13

I43



Zoning Petition (ZP 13-36)
Request to amend the Planned Unit Development (PUD)
for modified signage located at 2926 Finger Road

This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied.
 Map prepared by City of Green Bay Planning Department.
 P.N. November 2013. A:\Planning\City\ZPM\Map\2013\ZP13-36



22 b



Subject Area



200' Notice Area

ZONING ORDINANCE NO. 18-13

AN ORDINANCE
CREATING A PLANNED UNIT DEVELOPMENT (PUD)
FOR THE PRESERVE, LOCATED IN THE
100 - 300 BLOCK OF NORTH HURON ROAD
(ZP 13-38)

THE COMMON COUNCIL OF THE CITY OF GREEN BAY DOES ORDAIN AS FOLLOWS:

SECTION 1. Section 13-108, Green Bay Municipal Code, together with the zoning map referred to therein, is hereby amended by establishing a Planned Unit Development (PUD) District on the following described property:

BAIRD CREEK PRESERVE OUTLOT 1, Tax Parcel No. 21-8169
BAIRD CREEK PRESERVE OUTLOT 3, Tax Parcel No. 21-8171
BAIRD CREEK PRESERVE OUTLOT 2, Tax Parcel No. 21-8170
BAIRD CREEK PRESERVE OUTLOT 4, Tax Parcel No. 21-8172
BAIRD CREEK PRESERVE OUTLOT 10, Tax Parcel No. 21-8178
BAIRD CREEK PRESERVE OUTLOT 11, Tax Parcel No. 21-8179
BAIRD CREEK PRESERVE OUTLOT 12, Tax Parcel No. 21-8180
BAIRD CREEK PRESERVE OUTLOT 13, Tax Parcel No. 21-8181

SECTION 2. Pursuant to Section 13-1900, et seq., Green Bay Municipal Code, as they apply, the following conditions are imposed:

A. Scope and Subject Area

To permit the development of The Preserve, an 86 lot subdivision. The proposed subdivision plat will contain 85 lots with reduced lot frontages for detached single-family dwellings. Lot 1 of the proposed subdivision plat will contain a clubhouse and adjoining swimming pool and parking lot. Existing stormwater management ponds will be included as part of the development with two additional water features being added to create internal open space to enhance the overall development. Exhibit A depicts the proposed Preserve subdivision plat.

B. Permitted Uses

1. Principal Uses. The permitted principle uses include the following:
 - a. Single-family, detached dwellings.
 - b. Club House as depicted in Exhibits F, F1, F2, and F3 located on proposed Lot 1.

2. A swimming pool in conjunction to the clubhouse compliant with the standards of Chapters 13-530, 13-531, and 13-532, Green Bay Municipal Code. No other accessory uses will be permitted beyond the permitted principal uses.
3. Prohibited Uses. Any use not identified by this ordinance as a permitted principal use or any use not determined by the Zoning Administrator to be substantially similar to a use that is permitted, shall be prohibited.
4. Approval of The Preserve subdivision plat compliant with the requirements of Chapter 14, Subdivision & Platting. If the Preserve plat is not recorded within one year of the approval of this ordinance, the PUD shall be considered null and void.

C. Architectural Design

1. The front façade of any dwelling shall have a minimum 25% masonry material. These materials may include brick, stone, cast stone, stucco or other acceptable material as deemed appropriate by the Community Development Review Team (CDRT). The corner side yard of any dwelling shall have a minimum 2 foot knee wall/belt line of the same masonry material from the front facade extended the entire length of the corner side façade.
2. Any wall facing a public street shall have at a minimum two openings which may include windows and/or door openings.
3. The developer has offered five housing designs, each with a standard and alternate front elevation, as part of the ordinance. Not more than four of the same front elevation may be allowed in a row on one block of the subdivision.
4. All home designs shall be generally compliant with Exhibits B, B1, C, C1, D, D1, E, and E1.

D. Lot Sizes

1. Minimum Lot Frontage: 45 feet
2. Minimum Lot Area: 7000 square feet

E. Dimensional Standards

1. Height. No structure shall exceed 35 feet.
2. Setbacks. The following setbacks shall apply as measured from property lines/right-of-way lines and shall prohibit any buildings and parking:
 - a. Front Yard - 20 feet
 - b. Corner Side Yard - 20 feet
 - c. Interior Side Yard – 7 feet
 - d. Rear Yard – 25 feet
 - e. Decks and patios may not encroach closer than 12 feet to a rear lot line or closer than the building side yard setbacks.
3. No lot shall have more than 75 percent impervious coverage.

F. Site Plan

A complete site plan shall be submitted and approved prior to any construction, change of use, or other activity that requires site plan approval under 13-1802 Green Bay Municipal Code.

G. Parking

1. Shall be consistent with Chapter 13-1700, Green Bay Municipal Code.
2. Driveway widths shall not exceed the width of the proposed garage opening.
3. A parking lot is permitted in conjunction to the clubhouse not to exceed 14 parking spaces.

H. Landscaping

1. A detailed landscape plan shall be submitted prior to the issuance of any building permits.

2. A 20 foot wide landscape buffer shall be required along North Huron Road, the western edge of The Preserve subdivision plat.
3. The landscape buffer shall contain berming and/or fencing with mature trees and shrubs.
4. Homes with a corner side yard fronting a public street shall provide a tree every 35 feet along the entire side yard, compliant with Chapter 13-510.

I. Signs

1. Subdivision gateway markers and signage may be permitted at the following locations:
 - a. North Huron Road and Indigo Bluff Road as depicted on Exhibit G
 - b. Whittier Drive and Bedford Road depicted on Exhibit H.
2. The principal signs shall not exceed 115 square feet, subordinate signs shall not exceed 45 square feet each as depicted on the Exhibits G and H.
3. The overall height of the gateway markers shall not exceed 7 feet.
4. All other applicable standards of Chapter 13-2000, Signs, Green Bay Municipal Code, shall apply.

J. Stormwater Management

A stormwater management plan, meeting the standards established by the City's Department of Public Works, shall be submitted to and approved by the City prior to the issuance of a building permit. See Chapter 30, Green Bay Municipal Code.

K. Home Owners Association

The developer has expressed a desire to create a Home Owner Association (HOA) as part of this development. The HOA would be intended to coordinate maintenance of amenities and place certain restrictions related to the construction and maintenance of each property with the proposed development. Any documentation related to the HOA shall be recorded with the Brown County Register of Deeds. A copy of the recorded HOA shall be supplied to the Planning Department immediately after recording. The requirements established as part of the HOA shall be enforced by the developer and/or association.

L. Additional Applicable Regulations

Unless stated above, the development must comply with all other regulations of the Green Bay Municipal Code.

SECTION 3. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 4. This ordinance shall not take effect until a public hearing is held thereon as provided by Section 13-1900 of the Green Bay Municipal Code and the adoption and publication of this ordinance.

Dated at Green Bay, Wisconsin this _____ day of _____, 2014.

APPROVED:

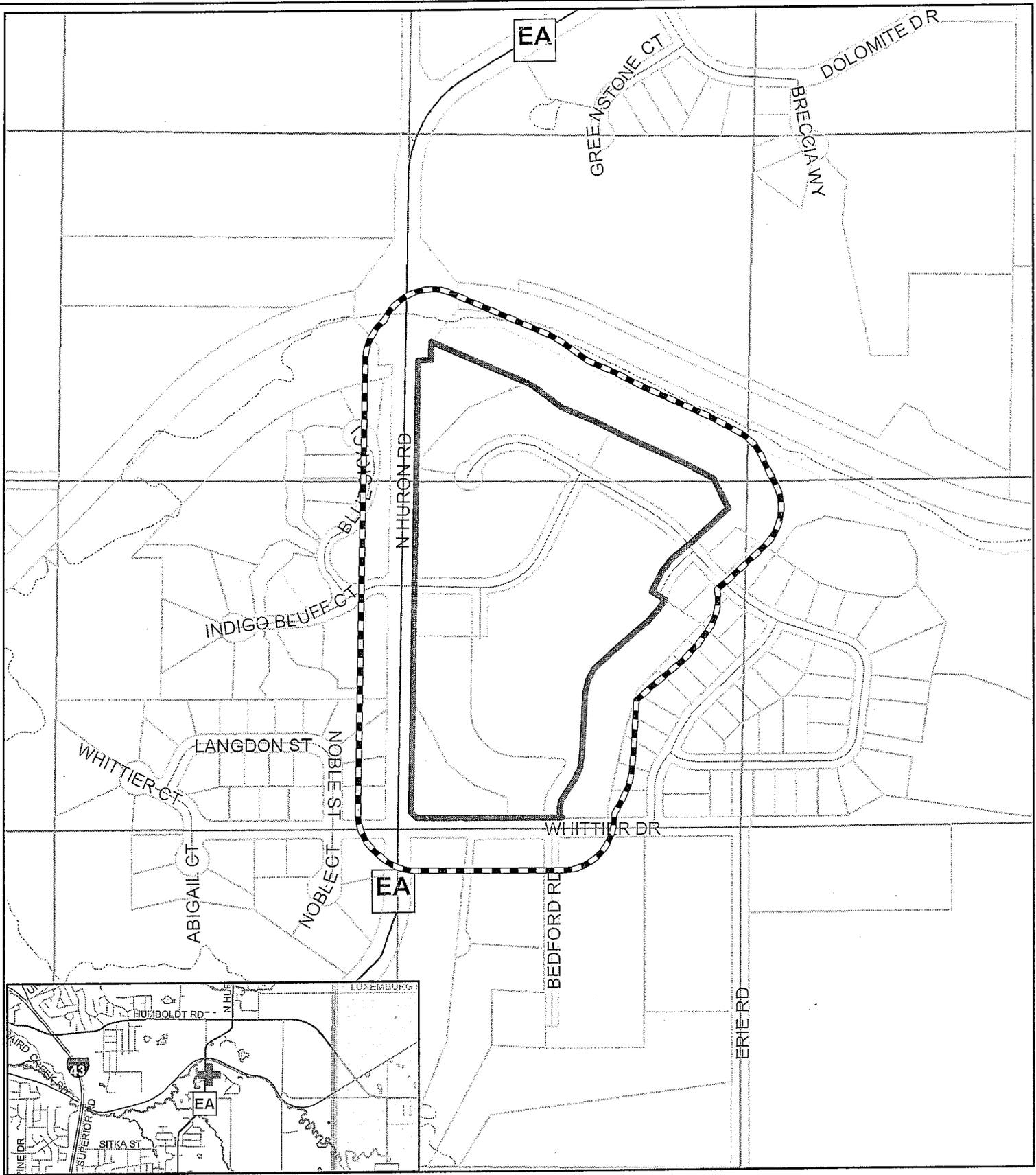
Mayor

ATTEST:

Clerk

PN:bc
Attachments
12/17/13

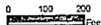
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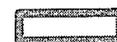
Zoning Petition (ZP 13-38)

**Request to create a Planned Unit Development (PUD) for a single-family development ,
The Preserve, located in the 100 to 300 Block of North Huron Road**

*This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied.
Map prepared by City of Green Bay Planning Department.
P.N. November 2013. \Planning\City\ZP\Maps\2013\ZP13-38*



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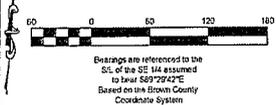
Subject Area



200' Notice Area

The Preserve

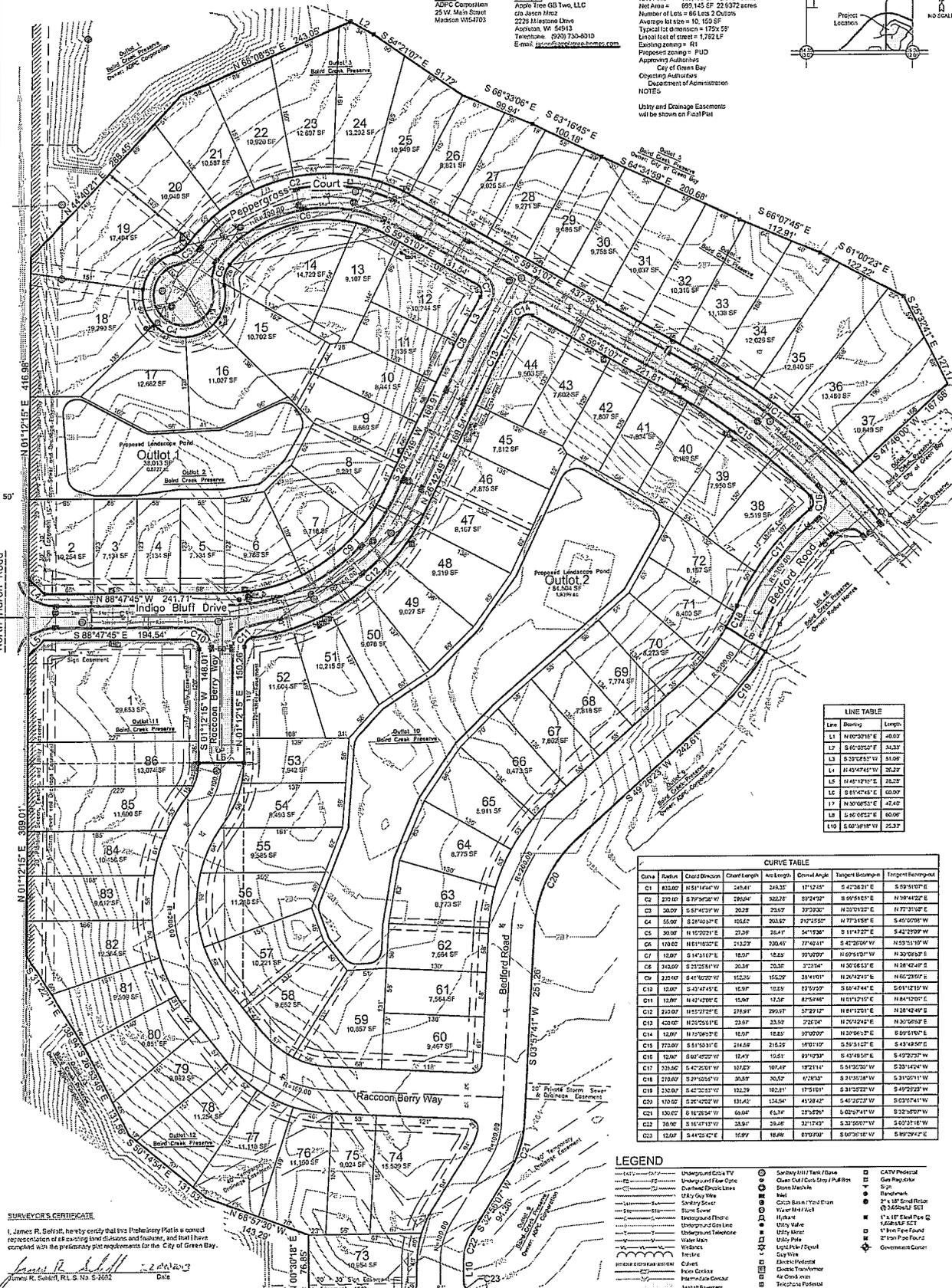
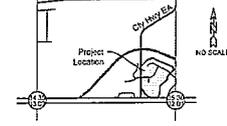
All of Outlot 2, Outlot 3, Outlot 4, Outlot 10, Outlot 11 and Outlot 12 of Baird Creek Preserve, being part of the Northeast 1/4 of the Southeast 1/4 and part of the Southeast 1/4 of the Southeast 1/4, Section 35, Township 24 North, Range 21 East, City of Green Bay, Brown County, Wisconsin



Owner:
ADPC Corporation
25 W. Main Street
Mission WI 54703

Developer:
Apple Tree GB Two, LLC
c/o Jason Mraz
2229 Milwaukee Drive
Appleton, WI 54913
Telephone: (920) 730-0010
E-mail: jason@adpcresortresorts.com

SUPPLEMENTARY DATA
Total Area = 1,102,618 SF 25.3113 acres
R212 Area = 103,473 SF 2.3754 acres
Net Area = 999,145 SF 22.9372 acres
Number of Lots = 86 Lots 2 Outlots
Average Lot Size = 10,162 SF
Typical lot dimension = 170' x 59'
Linear feet of street = 1,792 LF
Building zoning = R1
Proposed zoning = PUD
Approving Authority
City of Green Bay
Objeeting Authorities
Department of Administration
NOTES
Utility and Drainage Easements
will be shown on Final Plat



LINE TABLE

| Line | Bearing | Length |
|------|-----------------|--------|
| L1 | N 60° 30' 15" E | 40.00' |
| L2 | S 60° 05' 00" E | 34.33' |
| L3 | S 33° 28' 57" W | 51.00' |
| L4 | N 43° 47' 41" W | 26.20' |
| L5 | N 44° 19' 15" E | 28.20' |
| L6 | S 87° 47' 45" E | 60.00' |
| L7 | N 80° 05' 00" E | 24.00' |
| L8 | S 46° 05' 00" E | 60.00' |
| L9 | S 60° 30' 15" W | 25.33' |

CURVE TABLE

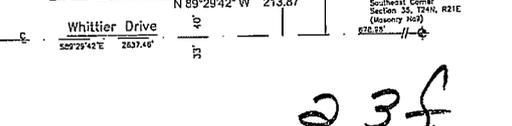
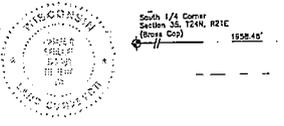
| Curve | Station | Chord Distance | Chord Length | Arc Length | Central Angle | Target Stationing | Target Elevation |
|-------|---------|-----------------|--------------|------------|---------------|-------------------|------------------|
| C1 | 812.00 | 152.1144' | 148.41' | 134.33' | 171.24° | S 42° 26' 31" E | S 59° 51' 07" E |
| C2 | 270.00 | 57.97928' | 59.64' | 52.27' | 97.24° | S 99° 51' 53" E | N 59° 44' 22" E |
| C3 | 300.00 | 5.874737' | 20.28' | 20.67' | 39.23° | N 53° 01' 52" E | N 77° 37' 08" E |
| C4 | 55.00 | 5.284044' | 10.62' | 10.82' | 71.25° | N 77° 51' 58" E | S 40° 00' 00" W |
| C5 | 30.00 | N 10° 22' 21" E | 21.30' | 28.41' | 54.19° | S 11° 47' 21" E | S 42° 29' 00" W |
| C6 | 104.00 | N 81° 18' 33" E | 112.29' | 130.40' | 77.40° | S 42° 29' 00" W | N 59° 51' 07" E |
| C7 | 12.00 | S 14° 14' 18" E | 18.50' | 19.00' | 10.00° | N 69° 51' 07" E | N 30° 08' 53" E |
| C8 | 348.00 | S 23° 25' 14" W | 20.38' | 20.30' | 2.00° | N 50° 08' 53" E | N 38° 42' 48" E |
| C9 | 270.00 | S 41° 02' 20" W | 152.20' | 155.20' | 38.41° | N 20° 42' 48" E | N 62° 23' 59" E |
| C10 | 12.00 | S 42° 47' 45" E | 18.50' | 18.50' | 87.99° | S 68° 47' 44" E | S 60° 12' 19" W |
| C11 | 12.00 | N 42° 47' 45" E | 18.50' | 18.50' | 87.99° | N 61° 12' 19" E | N 41° 07' 41" W |
| C12 | 212.00 | N 52° 37' 25" E | 218.91' | 200.17' | 37.99° | N 61° 12' 19" E | N 28° 12' 47" W |
| C13 | 420.00 | N 10° 22' 21" E | 23.50' | 23.50' | 70.00° | N 75° 42' 48" E | N 30° 08' 53" E |
| C14 | 12.00 | N 10° 22' 21" E | 18.50' | 18.50' | 10.00° | N 30° 08' 53" E | S 95° 51' 07" E |
| C15 | 375.00 | S 51° 53' 31" E | 214.68' | 216.28' | 18.01° | S 25° 31' 52" E | S 43° 43' 47" E |
| C16 | 12.00 | S 60° 42' 21" W | 17.49' | 17.49' | 89.17° | S 43° 48' 58" E | S 49° 29' 37" W |
| C17 | 336.00 | S 42° 26' 31" W | 102.83' | 107.48' | 18.21° | S 61° 52' 30" W | S 23° 14' 24" W |
| C18 | 216.00 | S 23° 25' 14" W | 30.89' | 30.87' | 0.76° | S 31° 30' 58" W | S 31° 02' 11" W |
| C19 | 326.00 | S 42° 26' 31" W | 102.39' | 102.81' | 17.51° | S 31° 02' 11" W | S 49° 29' 37" W |
| C20 | 170.00 | S 20° 47' 52" W | 181.62' | 134.54' | 45.28° | S 40° 27' 07" W | S 32° 50' 41" W |
| C21 | 150.00 | S 10° 28' 54" W | 60.04' | 63.74' | 29.29° | S 62° 04' 47" W | S 32° 50' 41" W |
| C22 | 70.00 | S 10° 47' 13" W | 35.81' | 38.46' | 32.17° | S 33° 00' 00" W | S 60° 31' 18" W |
| C23 | 12.00 | S 44° 25' 42" E | 18.50' | 18.49' | 87.97° | S 60° 31' 18" W | S 69° 29' 42" E |

LEGEND

- Underground Gas & TV
- Underground Fire Lines
- Overhead Electric Lines
- 24" City Sewer
- Sanitary Sewer
- Storm Sewer
- Underground Water Line
- Underground Telephone
- Water Main
- Visions
- Private
- Power Lines
- High Voltage Electric
- Alphabet Powerlines
- Concrete Footings
- Reinforced Concrete
- Surveyed Hill Top Elevation
- Surveyed Hill Top Elevation
- Stone Masonry
- Block Masonry
- 24" City Sewer
- Sanitary Sewer
- Storm Sewer
- Underground Water Line
- Underground Telephone
- Water Main
- Visions
- Private
- Power Lines
- High Voltage Electric
- Alphabet Powerlines
- Concrete Footings
- Reinforced Concrete
- 47959 E Spot Elevation
- CATV Posters
- Gas Registers
- 5" Pipe
- Block
- 24" x 18" Solid Floor
- 3" x 3" x 3" SCL
- 1" x 1" x 1" SCL
- 1" x 1" x 1" SCL
- 1" x 1" x 1" SCL
- 24" x 18" Solid Floor
- Concrete Curbs

SURVEYOR'S CERTIFICATE
I, James R. Gehlert, hereby certify that this Preliminary Plat is a correct representation of all existing land divisions and features, and that I have complied with the preliminary plat requirements for the City of Green Bay.

James R. Gehlert
James R. Gehlert, P.L.S. No. S-2022 Date: 11/22/2013



23f

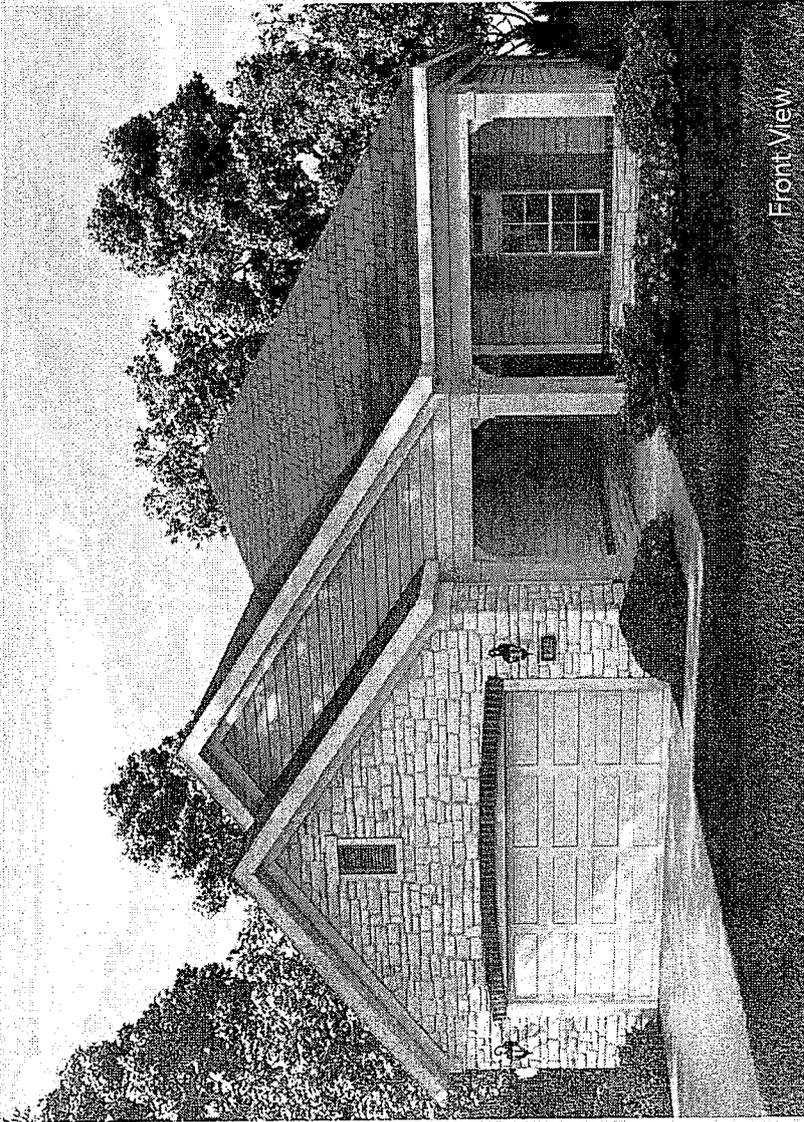
DAVEL ENGINEERING & ENVIRONMENTAL, INC.
CIVIL ENGINEERING CONSULTANTS
1011 Racine Street, Marshfield, WI 54852
Ph: 920-501-1550 Fax: 920-501-5550
www.davel-inc.com



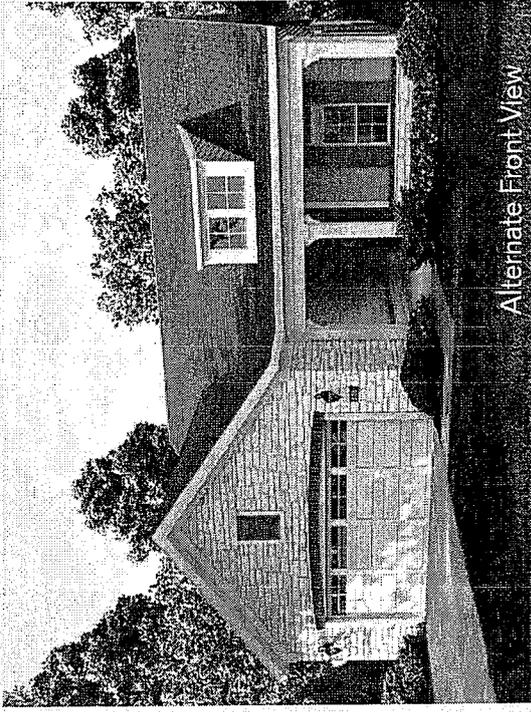
TORINO



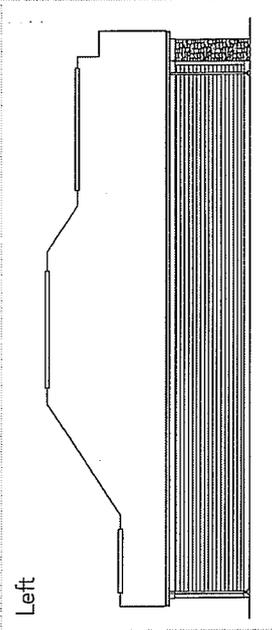
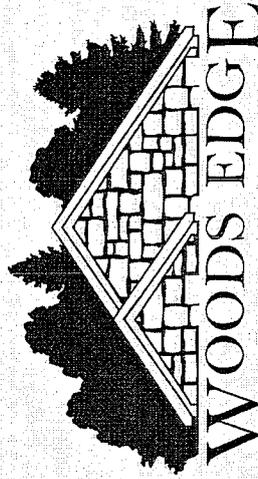
Exhibit B



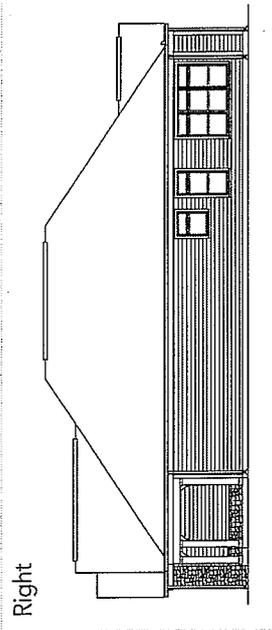
Front View



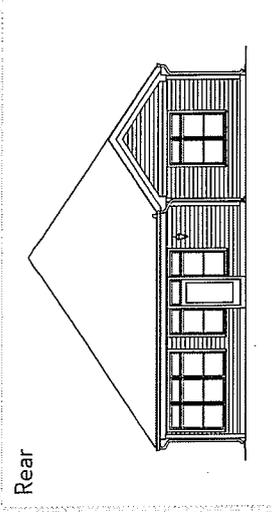
Alternate Front View



Left



Right



Rear

Images and elevations are renderings and provided for illustration purposes only. Elevations for bonus suite homes, lower exposed and walk-out basements will vary from those shown. Construction plans, completed homes and landscaping will vary from the images and elevations. Some features shown may be optional. © Epcor Communities Franchising, Inc. 2013

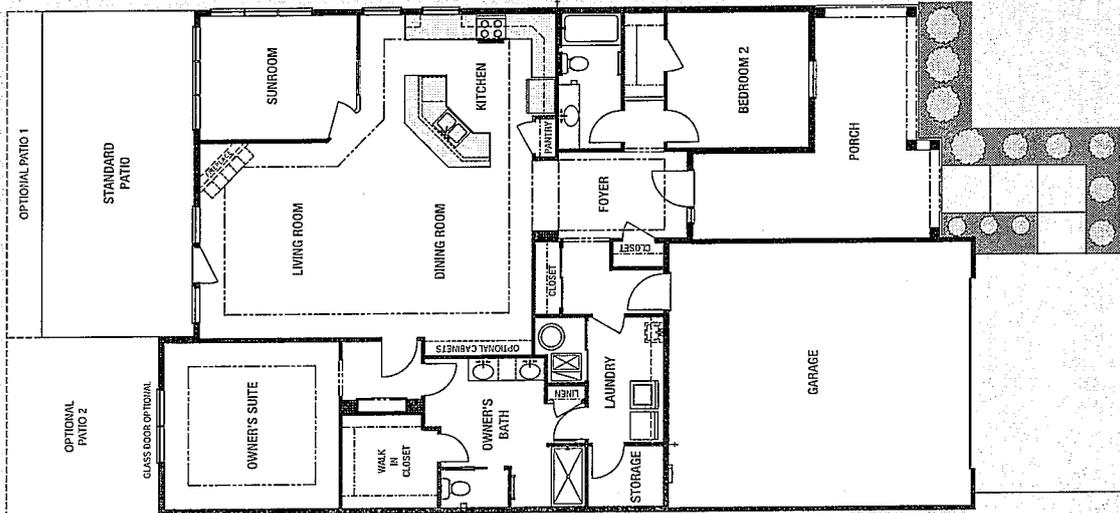
Phone: 920.632.4252 | Fax: 920.632.4453 | Email: WOODSEGE@APPLETREE-HOMES.COM | WWW.APPLETREE-HOMES.COM

Offered by Apple Tree Fox Valley, LLC

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Exhibit B1

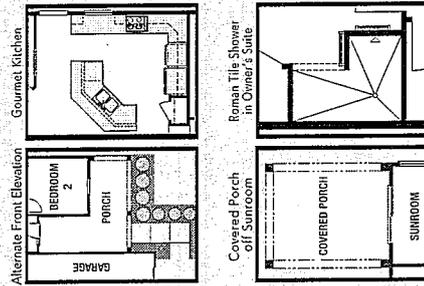
TORINO FIRST FLOOR PLAN



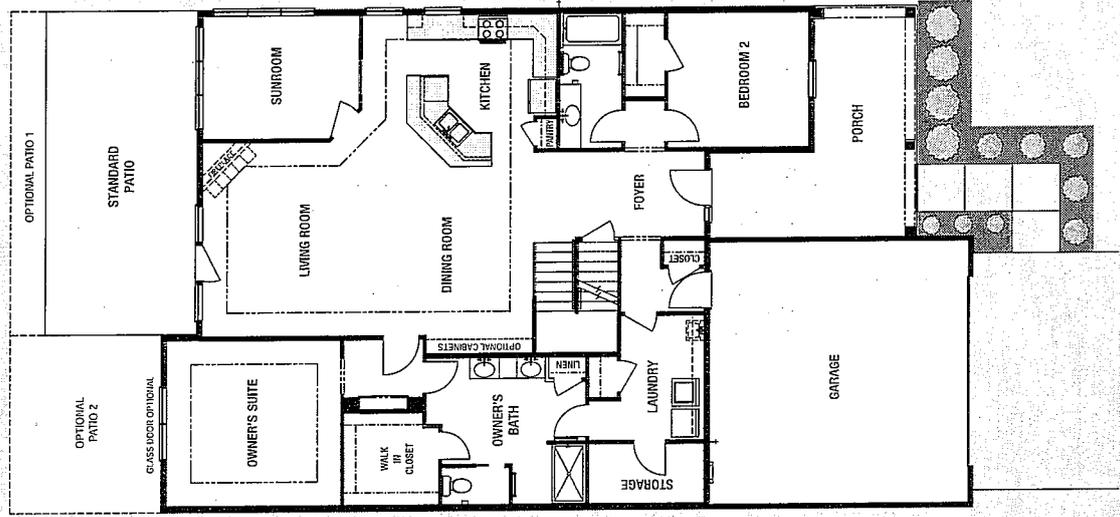
- Approximate Room Dimensions**
- Living Room 16'3" x 19'
 - Kitchen 12'3" x 16'6"
 - Dining Room 10'3" x 9'
 - Owner's Suite 14' x 14'9"
 - Owner's Bath 12'3" x 13'6"
 - Bedroom 2 11'3" x 12'
 - Sunroom 10'3" x 13'3"
 - Laundry 10'3" x 6'3"
 - Storage 5' x 6'3"
 - Covered Porch 11' x 13'
 - Standard Patio 27'3" x 13'
 - Optional Patio 1 27'3" x 3'
 - Optional Patio 2 15' x 13'
 - Garage 22' x 25'6"

Total SQ. FT. 1,919

OPTIONS



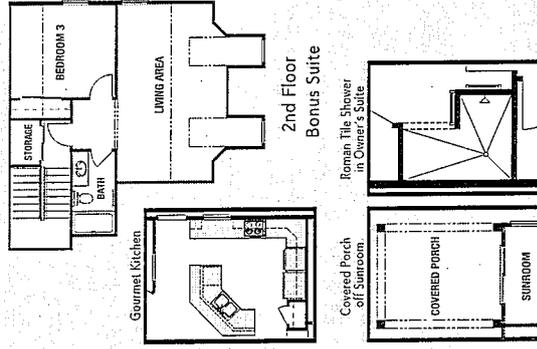
TORINO BASEMENT/BONUS SUITE FIRST FLOOR PLAN



- Approximate Room Dimensions**
- Living Room 16'3" x 19'
 - Kitchen 12'3" x 16'6"
 - Dining Room 10'3" x 9'
 - Owner's Suite 14' x 14'9"
 - Owner's Bath 12'3" x 13'6"
 - Bedroom 2 11'3" x 12'
 - Sunroom 10'3" x 13'3"
 - Laundry 10'3" x 6'3"
 - Storage 5' x 9'9"
 - 2nd Floor Living Area 20'9" x 12'9"
 - Bedroom 3 11' x 12'3"
 - Covered Porch 11' x 13'
 - Standard Patio 27'3" x 13'
 - Optional Patio 1 27'3" x 3'
 - Optional Patio 2 15' x 13'
 - Garage 22' x 22'

1st Floor SQ. FT. 2,009
 2nd Floor SQ. FT. (optional) 621
 Total 1st and 2nd Floor SQ. FT. 2,630

OPTIONS



Floor plans and landscaping are for illustration purposes only and may change without notice. Floor plans may show optional features. All dimensions and SQ. FT. listed are approximate. Construction plans may vary. © Epon Communities Franchising, Inc. 2013

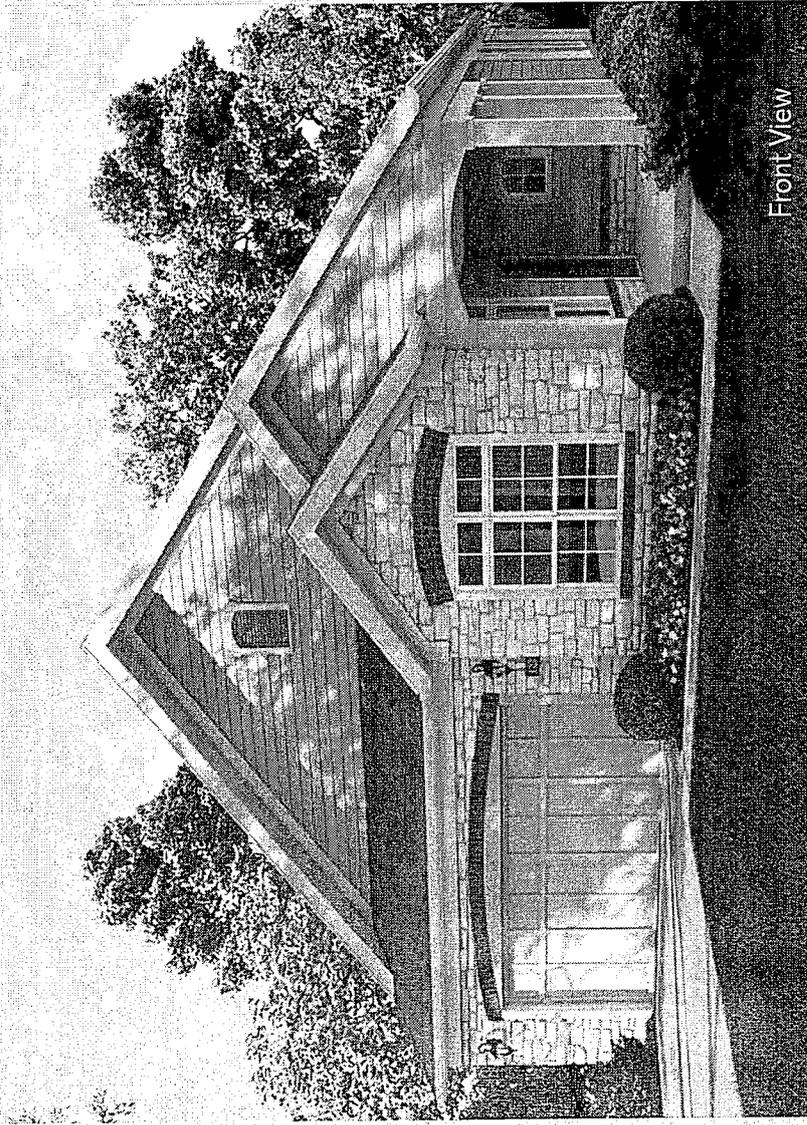
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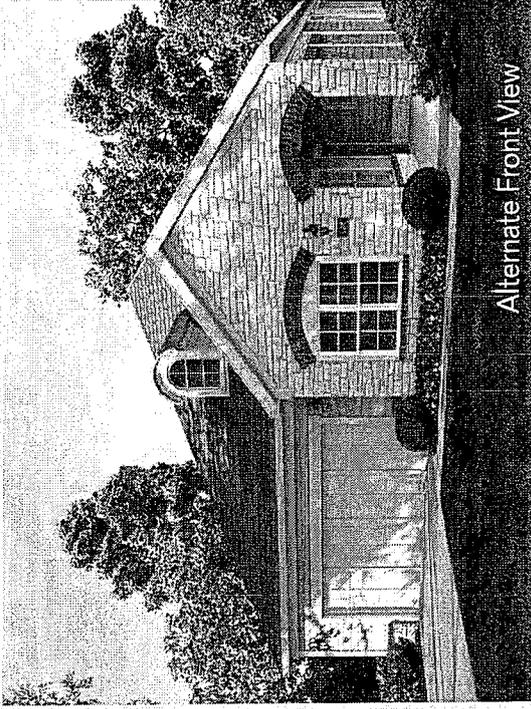
VERONA



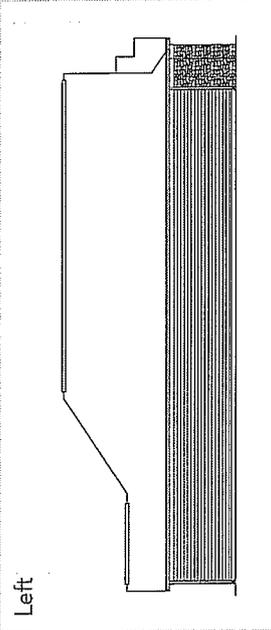
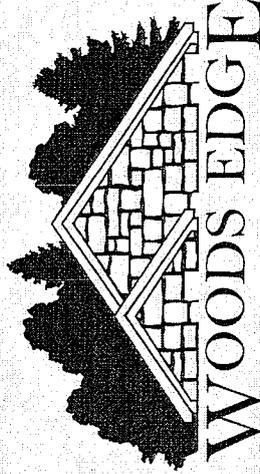
Exhibit C



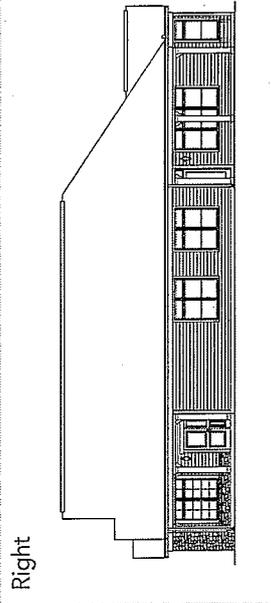
Front View



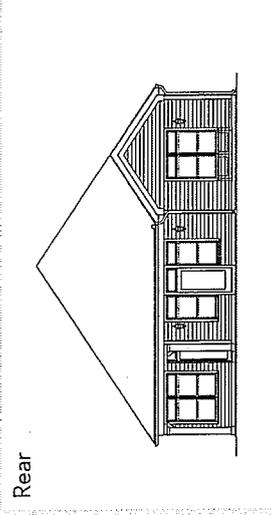
Alternate Front View



Left



Right



Rear

Images and elevations are renderings and provided for illustration purposes only. Elevations for bonus suite homes, lower exposed and walk-out basements will vary from those shown. Construction plans, completed homes and landscaping will vary from the images and elevations. Some features shown may be optional. © Epcon Communities Franchising, Inc. 2013

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Offered by Apple Tree, Fox Valley, LLC

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Exhibit C1

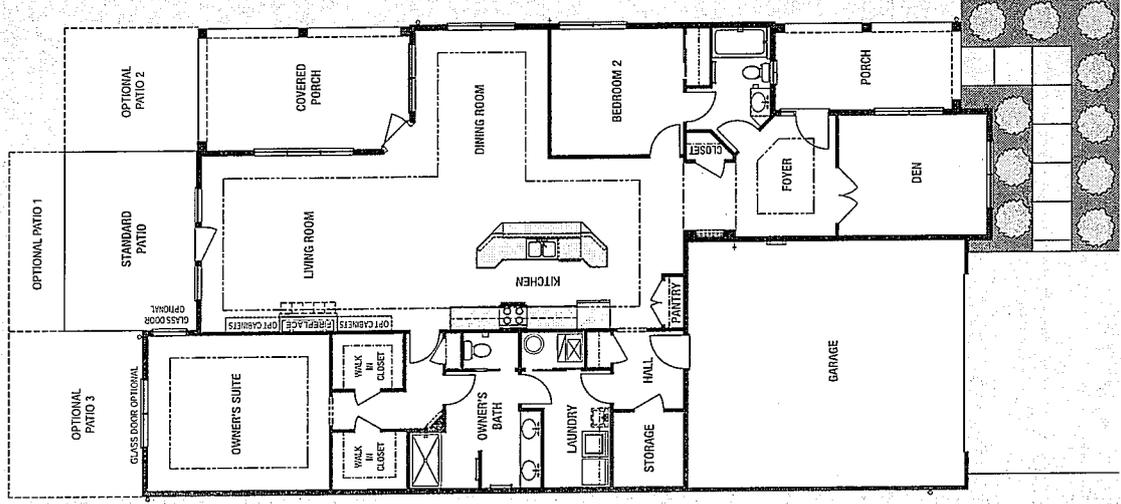
Approximate Room Dimensions
 Living Room 15'9" x 19'
 Kitchen 9'6" x 22'
 Dining Room 11'6" x 12'
 Den 10'9" x 13'3"
 Owner's Suite 14' x 9'
 Owner's Bath 14' x 16'9"
 Bedroom 2 11'3" x 12'
 2nd Floor Living Area 21' x 19'6"
 Bedroom 3 12'6" x 16'3"
 Laundry 10'3" x 6'
 Storage 4'6" x 6'3"
 Covered Porch 11' x 19'6"
 Standard Patio 16' x 12'
 Optional Patio 1 16' x 5'
 Optional Patio 2 11' x 12'
 Optional Patio 3 15' x 12'
 Optional Sunroom 11' x 19'6"
 Garage 22' x 22'

Approximate Room Dimensions
 Living Room 15'9" x 19'
 Kitchen 9'6" x 22'
 Dining Room 11'6" x 12'
 Den 10'9" x 13'3"
 Owner's Suite 14' x 9'
 Owner's Bath 14' x 16'9"
 Bedroom 2 11'3" x 12'
 Laundry 10'3" x 6'
 Storage 4'6" x 6'3"
 Covered Porch 11' x 19'6"
 Standard Patio 16' x 12'
 Optional Patio 1 16' x 5'
 Optional Patio 2 11' x 12'
 Optional Patio 3 15' x 12'
 Optional Sunroom 11' x 19'6"
 Garage 22' x 25'

1st Floor SQ.FT 2,208
 1st Floor SQ.FT w/opt Sunroom 2,430
 2nd Floor SQ.FT (optional) 745
 Total 1st and 2nd Floor SQ.FT 2,973
 Total 1st and 2nd Floor SQ.FT with optional Sunroom 3,195

Total SQ.FT 2,153
 Total SQ.FT w/opt Sunroom 2,375

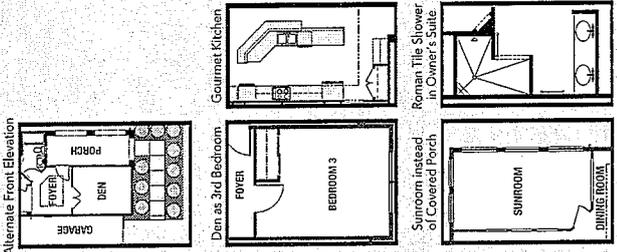
VERONA FIRST FLOOR PLAN



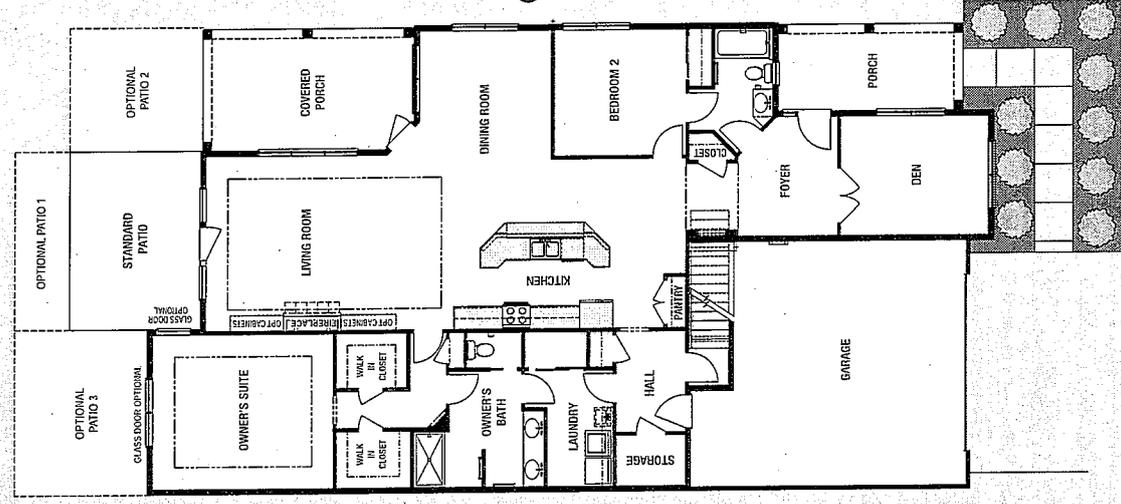
Approximate Room Dimensions
 Living Room 15'9" x 19'
 Kitchen 9'6" x 22'
 Dining Room 11'6" x 12'
 Den 10'9" x 13'3"
 Owner's Suite 14' x 9'
 Owner's Bath 14' x 16'9"
 Bedroom 2 11'3" x 12'
 Laundry 10'3" x 6'
 Storage 4'6" x 6'3"
 Covered Porch 11' x 19'6"
 Standard Patio 16' x 12'
 Optional Patio 1 16' x 5'
 Optional Patio 2 11' x 12'
 Optional Patio 3 15' x 12'
 Optional Sunroom 11' x 19'6"
 Garage 22' x 25'

1st Floor SQ.FT 2,208
 1st Floor SQ.FT w/opt Sunroom 2,430
 2nd Floor SQ.FT (optional) 745
 Total 1st and 2nd Floor SQ.FT 2,973
 Total 1st and 2nd Floor SQ.FT with optional Sunroom 3,195

OPTIONS



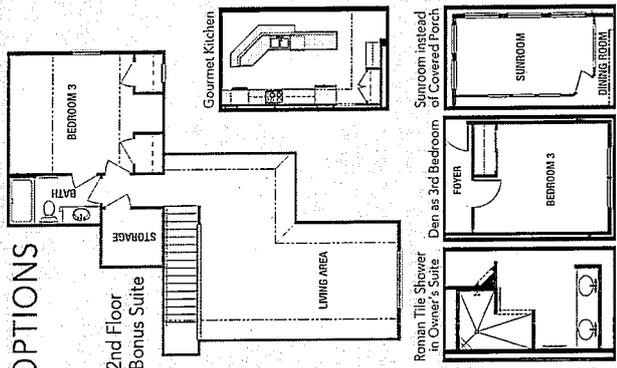
VERONA BASEMENT/BONUS SUITE FIRST FLOOR PLAN



Approximate Room Dimensions
 Living Room 15'9" x 19'
 Kitchen 9'6" x 22'
 Dining Room 11'6" x 12'
 Den 10'9" x 13'3"
 Owner's Suite 14' x 9'
 Owner's Bath 14' x 16'9"
 Bedroom 2 11'3" x 12'
 2nd Floor Living Area 21' x 19'6"
 Bedroom 3 12'6" x 16'3"
 Laundry 10'3" x 6'
 Storage 4'6" x 6'3"
 Covered Porch 11' x 19'6"
 Standard Patio 16' x 12'
 Optional Patio 1 16' x 5'
 Optional Patio 2 11' x 12'
 Optional Patio 3 15' x 12'
 Optional Sunroom 11' x 19'6"
 Garage 22' x 22'

1st Floor SQ.FT 2,208
 1st Floor SQ.FT w/opt Sunroom 2,430
 2nd Floor SQ.FT (optional) 745
 Total 1st and 2nd Floor SQ.FT 2,973
 Total 1st and 2nd Floor SQ.FT with optional Sunroom 3,195

OPTIONS



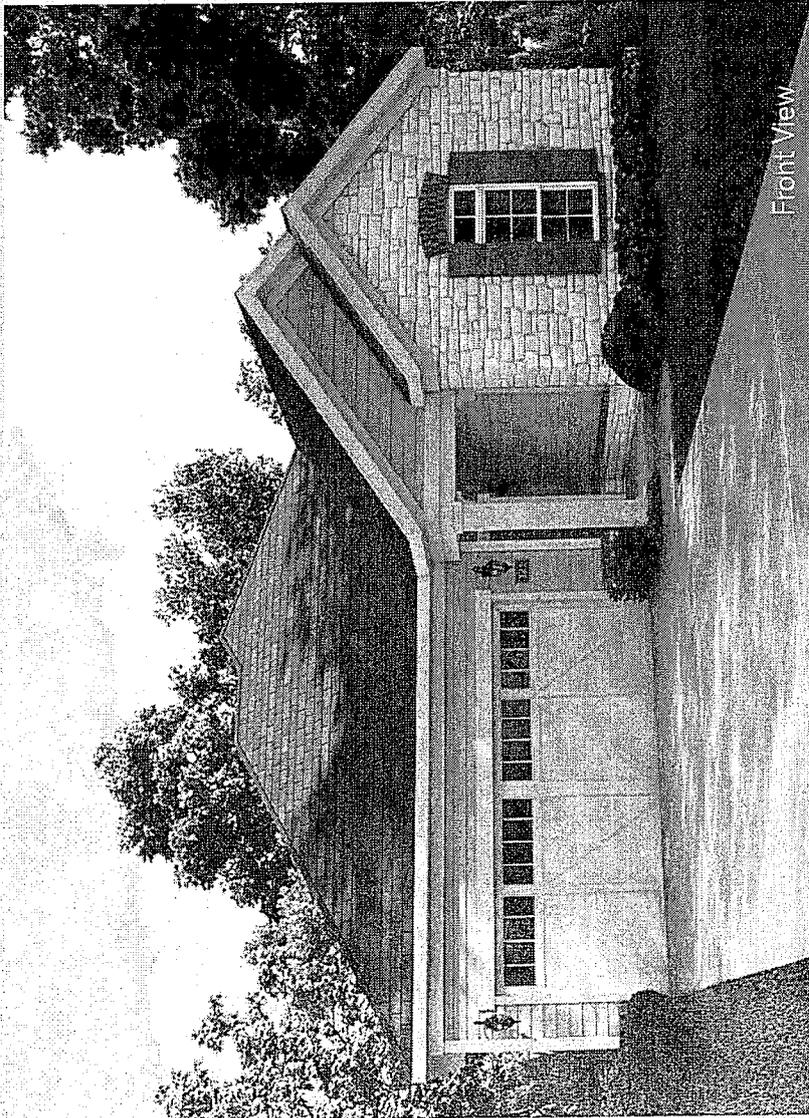
73j



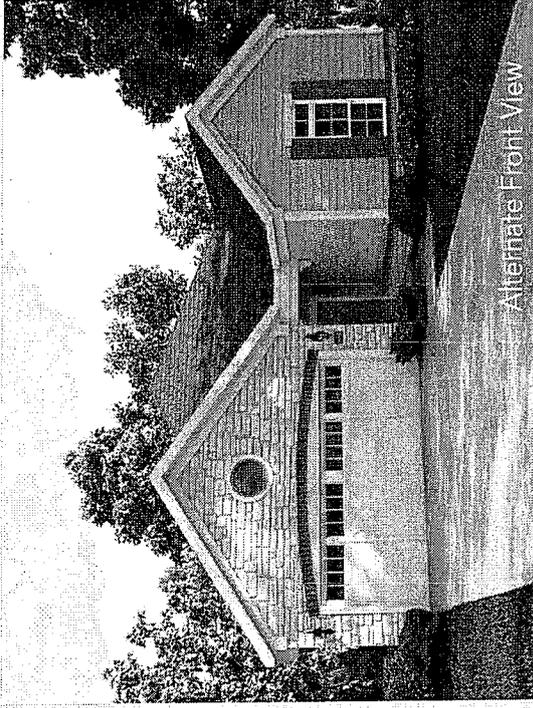
CAPRI/CAPRI II



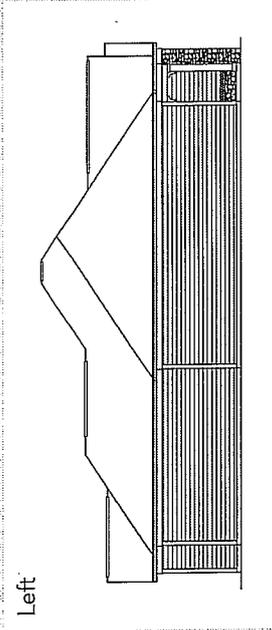
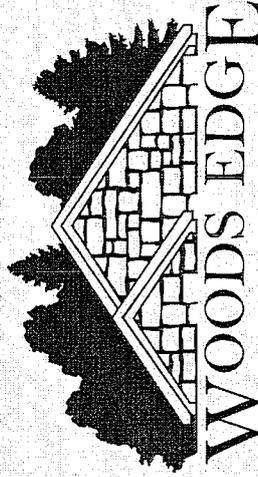
Exhibit D



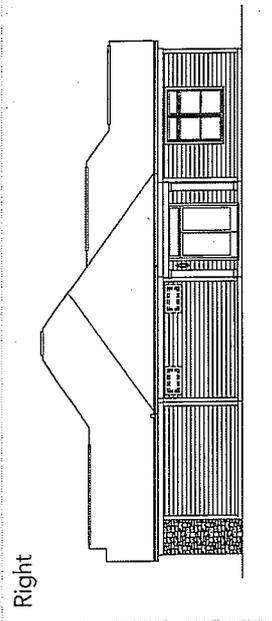
Front View



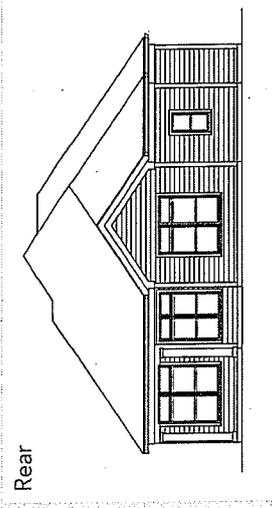
Alternate Front View



Left



Right



Rear

Images and elevations are renderings and provided for illustration purposes only. Elevations for bonus suite homes, lower exposed and walk-out basements will vary from those shown. Construction plans, completed homes and landscaping will vary from the images and elevations. Some features shown may be optional. © Epcor Communities Franchising, Inc. 2013

Phone: 920.632.4252 | Fax: 920.632.4453 | Email: WOODSEGE@APPLETREE-HOMES.COM | WWW.APPLETREE-HOMES.COM

Offered by AppleTree Fox Valley, LLC

23K

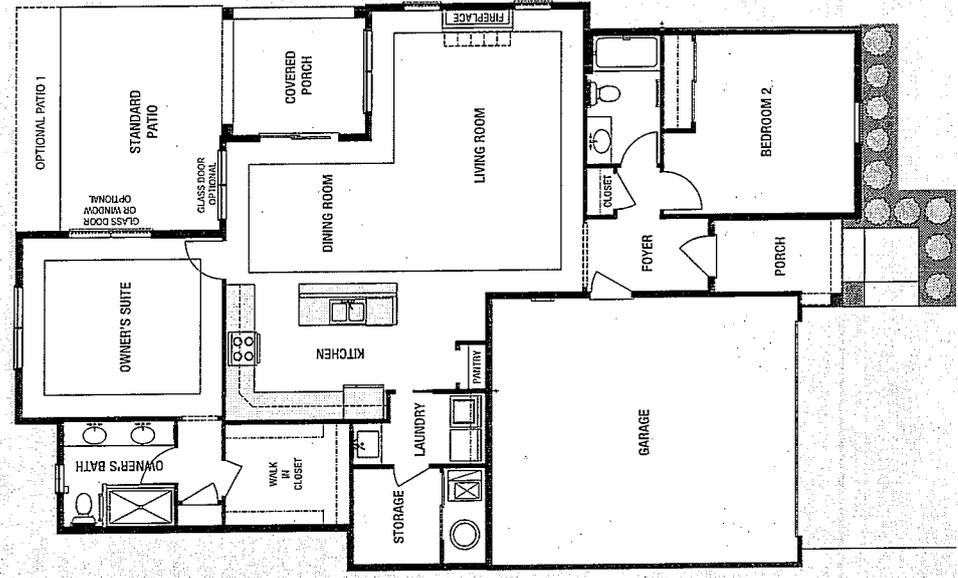
Exhibit D1

CAPRI II FIRST FLOOR PLAN

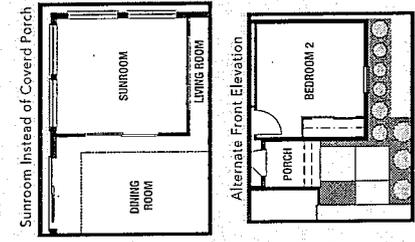
Approximate Room Dimensions

| | |
|------------------|---------------|
| Living Room | 20'6" x 16' |
| Kitchen | 10' x 19'6" |
| Dining Room | 11' x 11' |
| Owner's Suite | 13'3" x 15' |
| Owner's Bath | 7'9" x 8' |
| Bedroom 2 | 13' x 14' |
| Laundry | 5' x 9' |
| Storage | 7' x 6'6" |
| Covered Porch | 9'3" x 10'6" |
| Standard Patio | 16'6" x 12' |
| Optional Patio 1 | 16'6" x 3' |
| Optional Sunroom | 9'3" x 10'6" |
| Garage | 19'9" x 22'9" |

Total SQ. FT. 1,561
Total SQ. FT. w/opt. Sunroom 1,667



OPTIONS



CAPRI FIRST FLOOR PLAN

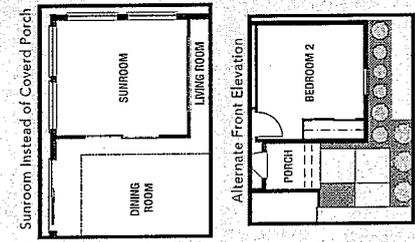
Approximate Room Dimensions

| | |
|------------------|---------------|
| Living Room | 20'6" x 13'6" |
| Kitchen | 9' x 17' |
| Dining Room | 11' x 11' |
| Owner's Suite | 12'3" x 15' |
| Owner's Bath | 7'9" x 8' |
| Bedroom 2 | 13' x 12' |
| Laundry | 8' x 7' |
| Storage | 4' x 9' |
| Covered Porch | 9'3" x 10'6" |
| Standard Patio | 16'6" x 12' |
| Optional Patio 1 | 16'6" x 3' |
| Optional Sunroom | 9'3" x 10'6" |
| Garage | 19'9" x 19'9" |

Total SQ. FT. 1,397
Total SQ. FT. w/opt. Sunroom 1,502



OPTIONS



Floor plans and landscaping are for illustration purposes only and may change without notice. Floor plans may show optional features. All dimensions and SQ. FT. listed are approximate. Construction plans may vary. © Epcor Communities Franchising, Inc. 2013

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Offered by AppleTree Fox Valley, LLC

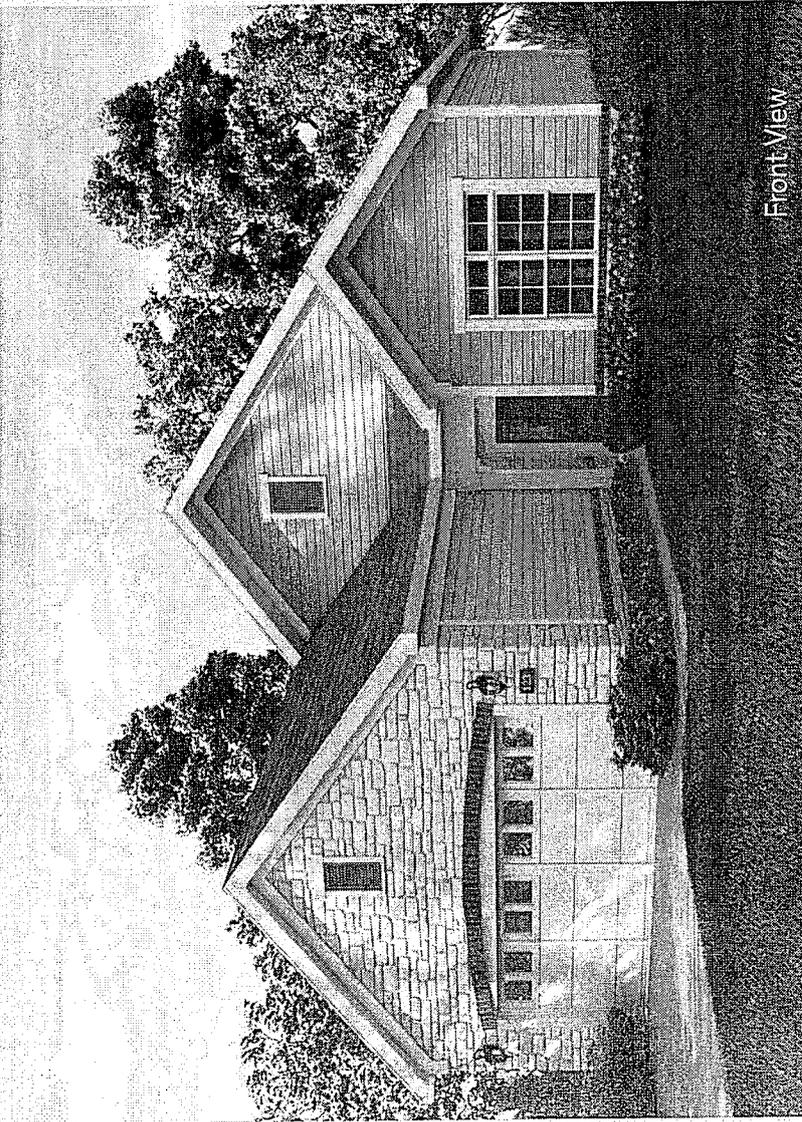
23 L



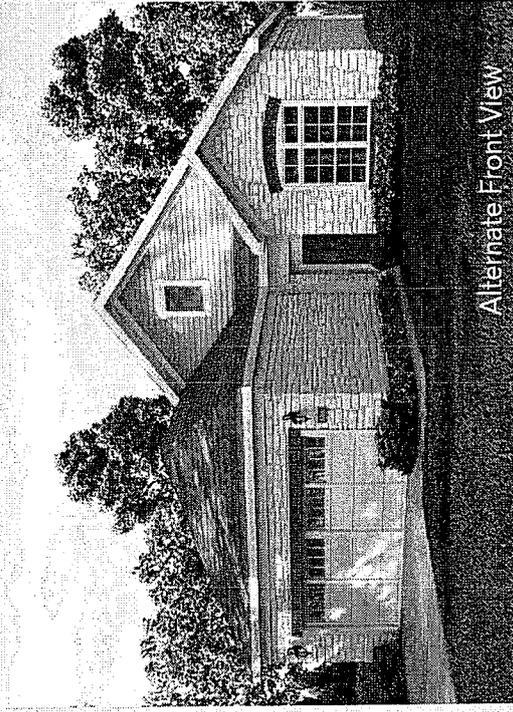
SALERNO



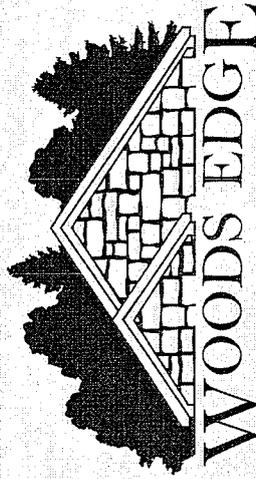
Exhibit E



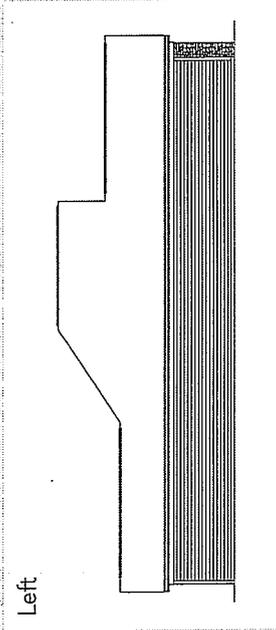
Front-View



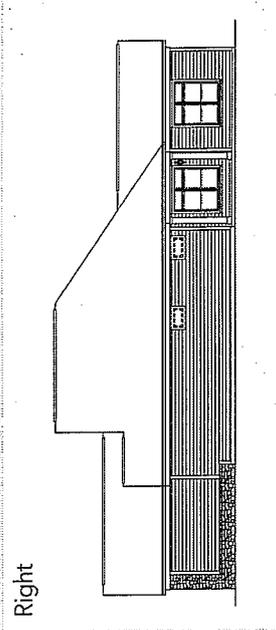
Alternate Front View



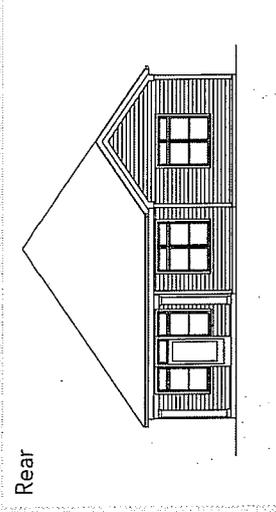
Left



Right



Rear



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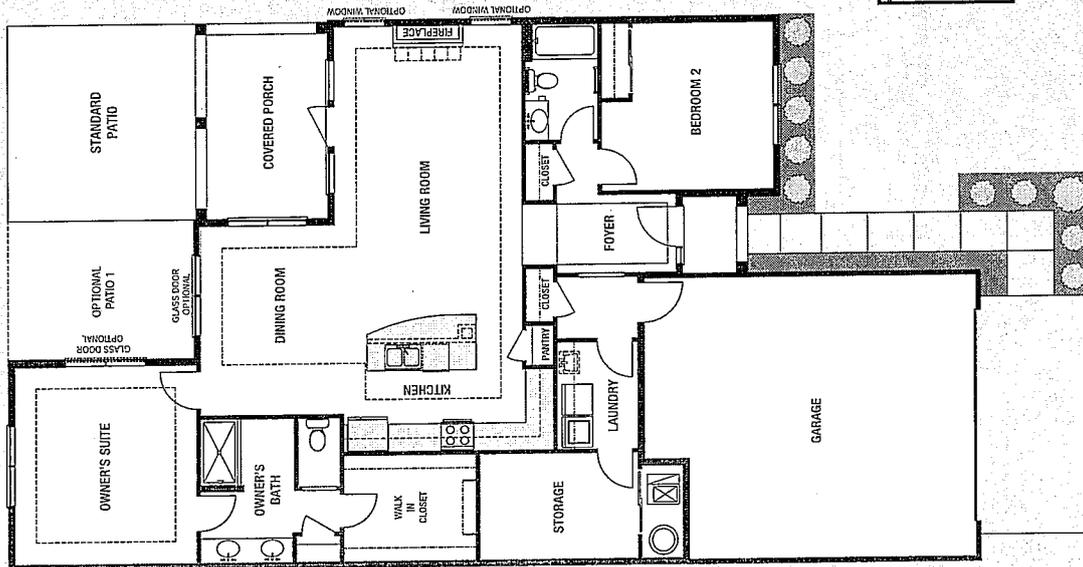
Phone 920.632.4252 | Fax 920.632.4453 | Email WOODSEGE@APPLETREE-HOMES.COM | WWW.APPLETREE-HOMES.COM

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73M

Exhibit E1

SALERNO FIRST FLOOR PLAN



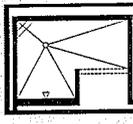
Approximate Room Dimensions

| | |
|------------------|---------------|
| Living Room | 21'6" x 14'3" |
| Kitchen | 10' x 16' |
| Dining Room | 14' x 10'6" |
| Owner's Suite | 15' x 14' |
| Owner's Bath | 10'9" x 10'9" |
| Bedroom 2 | 12'6" x 13' |
| Laundry | 8' x 6' |
| Storage | 8' x 12' |
| Covered Porch | 14'6" x 10' |
| Standard Patio | 15' x 14'3" |
| Optional Patio 1 | 10'6" x 14'3" |
| Optional Sunroom | 14'6" x 10' |
| Garage | 21'3" x 25' |

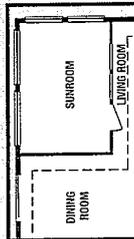
Total SQ.FT. 1,696
Total SQ.FT. w/opt Sunroom 1,852

OPTIONS

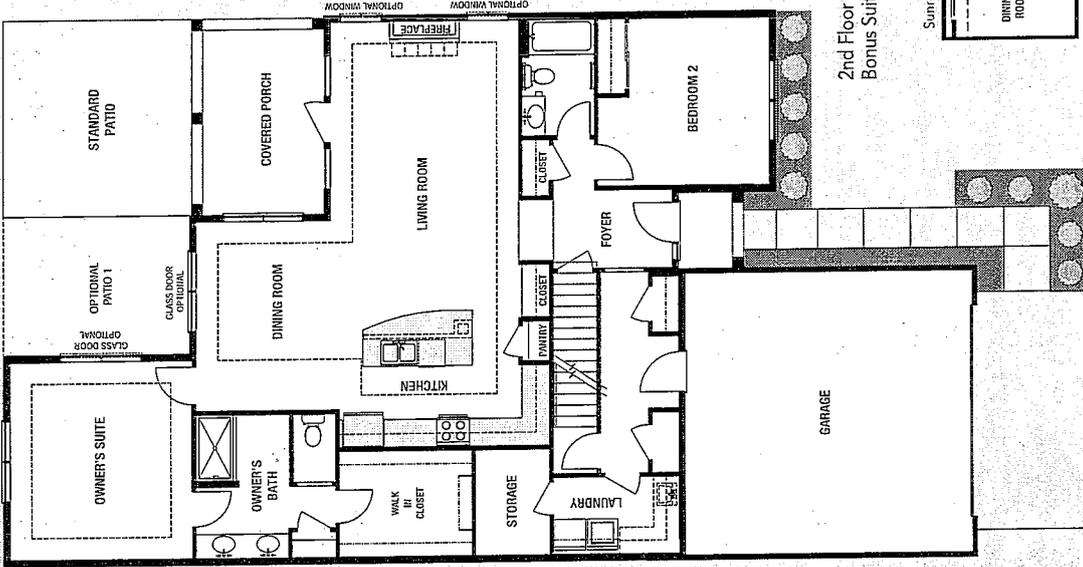
Roman Tile Shower in Owner's Suite



Sunroom Instead of Covered Porch



SALERNO BASEMENT/BONUS SUITE FIRST FLOOR PLAN



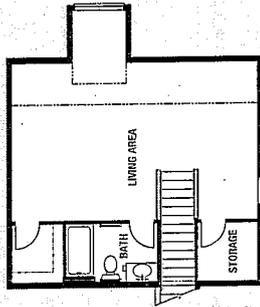
Approximate Room Dimensions

| | |
|-----------------------|---------------|
| Living Room | 21'6" x 14'3" |
| Kitchen | 10' x 16' |
| Dining Room | 14' x 10'6" |
| Owner's Suite | 15' x 14' |
| Owner's Bath | 10'9" x 10'9" |
| Bedroom 2 | 12'6" x 13' |
| Laundry | 8' x 6' |
| Storage | 5'6" x 5'6" |
| 2nd Floor Living Area | 14'6" x 23'6" |
| Covered Porch | 14'6" x 10' |
| Standard Patio | 15' x 14'3" |
| Optional Patio 1 | 10'6" x 14'3" |
| Optional Sunroom | 14'6" x 10' |
| Garage | 21'3" x 21'9" |

1st Floor SQ.FT. 1,744
1st Floor SQ.FT. w/opt Sunroom 1,900
2nd Floor SQ.FT. (optional) 548

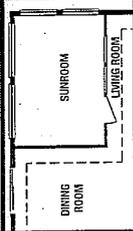
Total 1st and 2nd Floor SQ.FT. 2,292
Total 1st and 2nd Floor SQ.FT. with optional Sunroom 2,448

OPTIONS



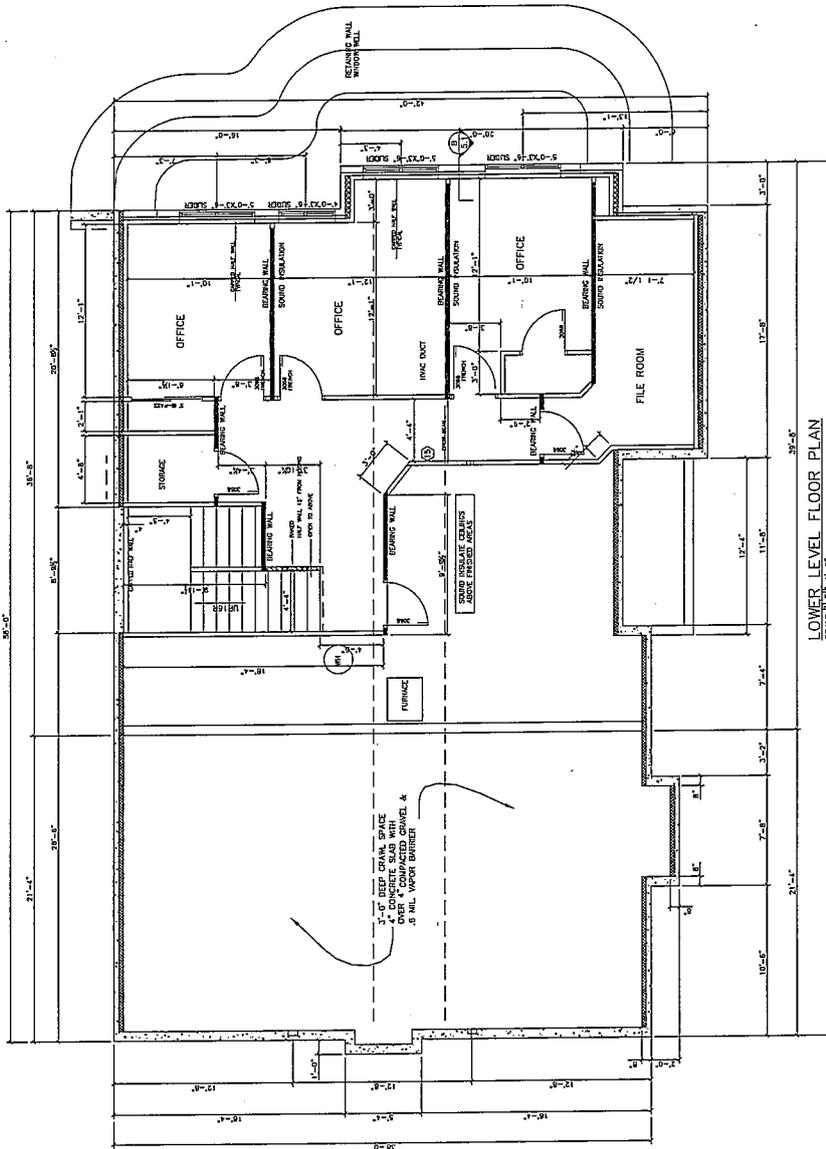
Roman Tile Shower in Owner's Suite

Sunroom Instead of Covered Porch in Owner's Suite



Floor plans and landscaping are for illustration purposes only and may change without notice. Floor plans may show optional features. All dimensions and SQ. FT. listed are approximate. Construction plans may vary. © Epon Communities Franchising, Inc. 2013

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LOWER LEVEL FLOOR PLAN

APPLETREE
CONDOMINIUMS

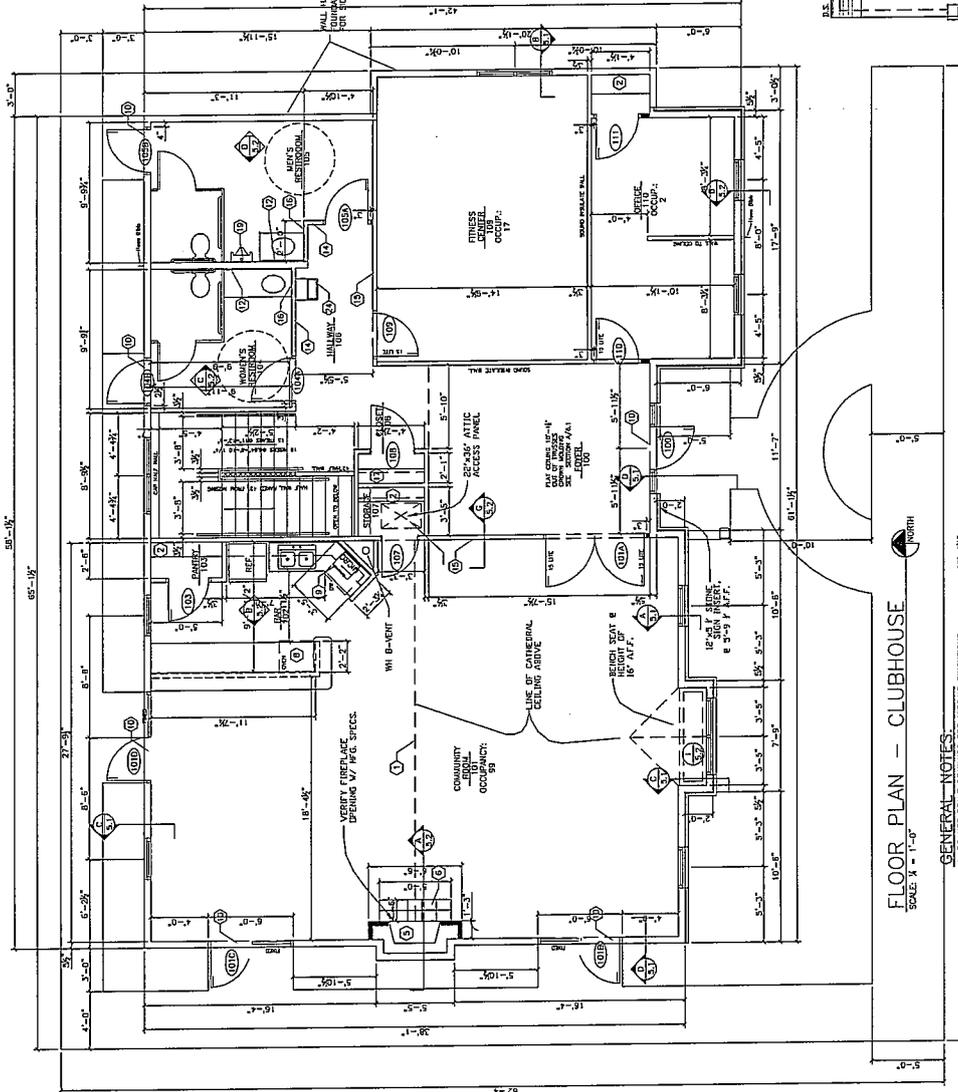
APPLETON, WI Project Number

| | |
|--|----------|
| Draining Issued | Date |
| <input checked="" type="checkbox"/> Approved | 05-07-13 |
| <input type="checkbox"/> Bid | |
| <input type="checkbox"/> Construction | |
| Revisions | Date |
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| 6 | |
| 7 | |
| 8 | |
| 9 | |
| 10 | |

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Sheet Title
 LOWER LEVEL FLOOR PLAN
 CII 2.2

Exhibit F2



| OCCUPANCY SCHEDULE | |
|-------------------------|------------|
| 101 COMMUNITY ROOM | 69 |
| LOBBY LOWER LEVEL | 9 |
| LOBBY FITNESS CENTER | 17 |
| 110 OFFICE | 2 |
| TOTAL OCCUPANCY: | 127 |

APPLETON, WI Project Number
APPLETREE CONDOMINIUMS
 Date: 02-07-15
 Approved: [Signature]
 By: [Signature]
 Revisions: 1.02/13
 Date: [Signature]

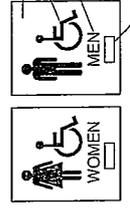
FLOOR PLAN - CLUBHOUSE
 SCALE: 1/8" = 1'-0"

GENERAL NOTES
 1. SEE 101 DASH DRAWING FOR MISSING DIMENSIONS.

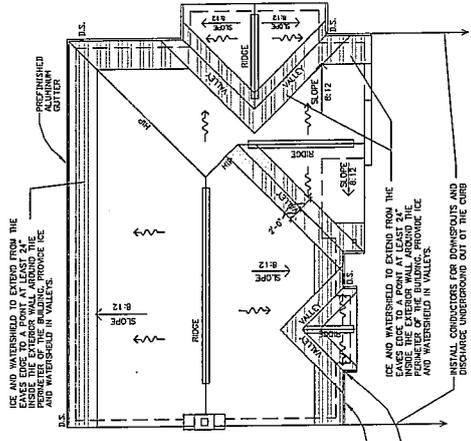
CODED NOTES

- 1) LINE OF CARRIAGE CEILING ABOVE
- 2) WIRE SHELF SYSTEM, 16 SP., STD. SPACING
- 3) 22 1/2" x 54" FULL DOWN STAIR
- 4) ADA COMPLIANT FIRE EXTINGUISHER HANDLE, MAX. AFF TO BE 54" MAX. AFF TO BOTTOM OF SIGNATURE UNIT TO SEE MANUFACTURER'S INSTRUCTIONS
- 5) 12"x12" CERAMIC TILE HEARTH
- 6) FINISH GRADE PLYWOOD SHELVES, FULL DEPTH
- 7) FINISH COUNTER BUILT-IN OVER
- 8) MICROWAVE ABOVE
- 9) 1/2" PLYWOOD UNDER SHELVING
- 10) 1/2" PLYWOOD UNDER SHELVING
- 11) LINE OF PORCH ROOF ABOVE
- 12) MIRROR TO EXTEND FULL WIDTH OF COUNTERTOP LESS 1" ON EACH SIDE
- 13) PROVIDE 30"x40" CLEAR FLOOR SPACE
- 14) PROVIDE HANDICAP DRINKING FOUNTAIN

- 15) ADA COMPLIANT SIGNAGE AS SHOWN IN DETAIL A7.1. SIGNAGE IS TO COMPLY WITH ADA 703.2.1.1. SIGNAGE SHALL BE 60" AFF. TO C.C. OF SIGN.
- 16) ADA COMPLIANT FIRE EXTINGUISHER HANDLE, MAX. AFF TO BE 54" MAX. AFF TO BOTTOM OF SIGNATURE UNIT TO SEE MANUFACTURER'S INSTRUCTIONS
- 17) 60" SHELF & ROD 60" AFF. - W/VAL COATED WIRE
- 18) ELECTRIC PANEL
- 19) PROVIDE 2 X 6 BLOORING IN WALL TO SECURE URINAL, SINK & TOILET PARTITION
- 20) SECURE WORK, INACTIVE LEAF SHOWER
- 21) LIGHT FIXTURE MOUNTING
- 22) PROVIDE 2'x0" BLOORING, ABOVE & BELOW OUTLET FOR TELEVISION MOUNT.
- 23) PROVIDE HANDICAP DRINKING FOUNTAIN



NOTE: FROM OR END OF CONSTRUCTION A PLACE OF ASSEMBLY SHALL HAVE THE APPROVED OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS LOCATION. SIGNS SHALL BE INSTALLED IN A LEGIBLE MANNER. SIGNS SHALL BE DURABLE AND SHALL INDICATE THE NUMBER OF OCCUPANTS PERMITTED TO BE IN THE ROOM OR SPACE. THE NUMBER WITH THE APPLICABLE CODE, STYLE AND LOCATION OF SIGNS SHALL BE DETERMINED BY LOCAL AUTHORITY.



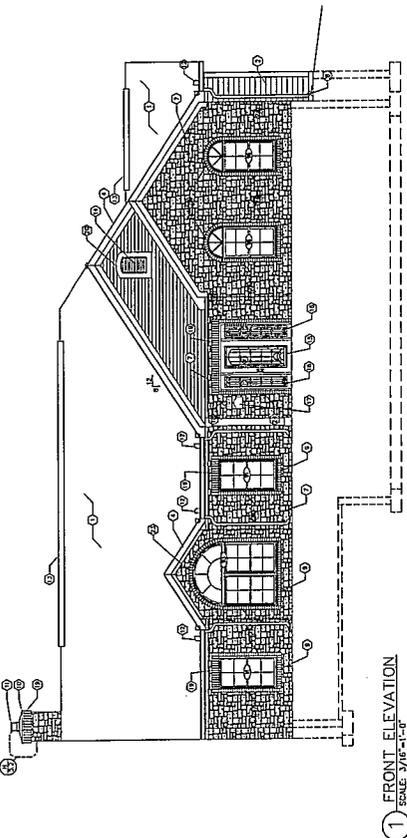
ROOF PLAN - CLUBHOUSE
 SCALE: 1/8" = 1'-0"

Sheet Title
FLOOR PLAN
 CH 3.1

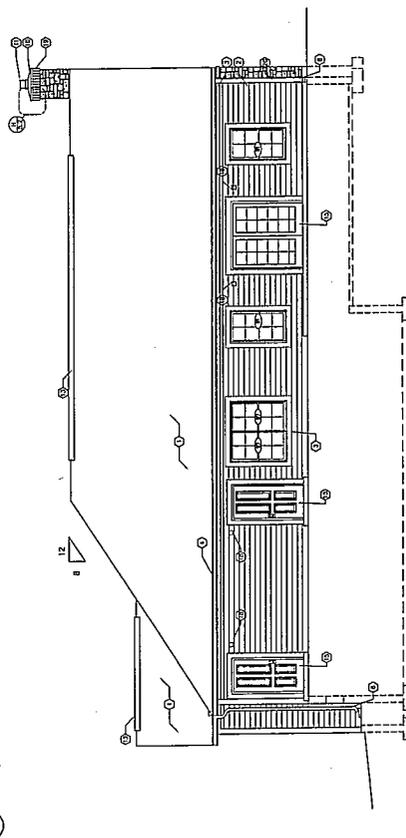
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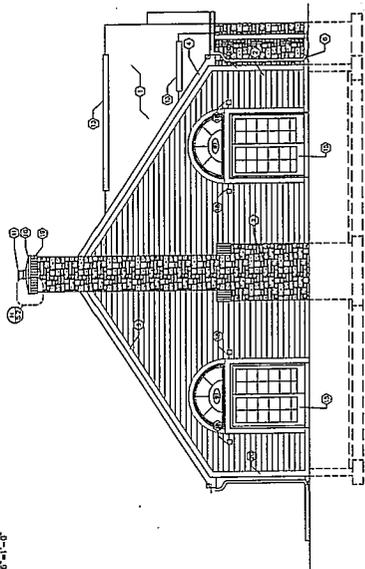
Exhibit F3



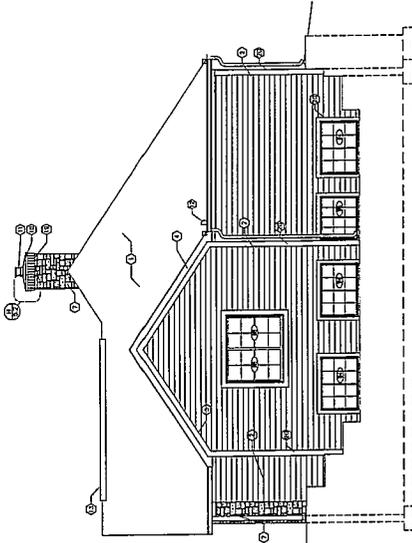
1 FRONT ELEVATION
SCALE: 3/16"=1'-0"



2 REAR ELEVATION
SCALE: 3/16"=1'-0"



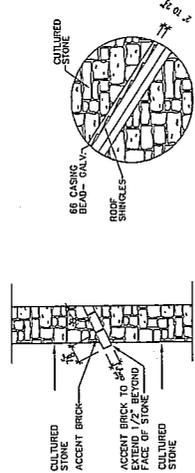
3 LEFT ELEVATION
SCALE: 3/16"=1'-0"



4 RIGHT ELEVATION
SCALE: 3/16"=1'-0"

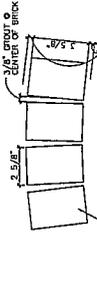
- CODED NOTES**
- ASPHALT FIBER GLASS SHINGLES (25 YEAR) OVER 15# FELT (COORDINATE COLOR SPEC. W/ OWNER)
 - ROOFING: 1/2" OSB SHEATHING (FOR GABLE), SOLID STAIN (FOR MAIN FLOOR), SOLID STAIN (FOR STAIR)
 - 5/4" X 8" UP SMART SDC TRN. REFER TO WALL SECTIONS.
 - 5/4" X 8" ALUMINUM FASCIA, REFER TO WALL SECTIONS.
 - PRE-FINISHED CUTTER AND DOWNSPOUT W/ SPLASH BLOCK.
 - CULTURED STONE
 - NOT USED
 - ROMLOCK SILL COURSE
 - PREFABRICATED CHIMNEY CAP
 - REPLACE FLUE
 - FLOW DIVERTER
 - ROOF VENT
 - 18"X24" CLOSED EKERBOW LOUVER BY FRONT MASONRY OR E.D., INSTALL OVER EXISTING VENT
 - INSULATED BARRY DOOR, REFER TO DOOR SCHEDULE SHEET
 - INSULATED SILE LIGHT, REFER TO DOOR SCHEDULE SHEET
 - ADDRESS PLAQUE
 - EXTERIOR LIGHT
 - SOFTER COURSE BRICK
 - DOUBLE ROMLOCK ARCH
 - NOT USED
 - SINGLE ROMLOCK ARCH
 - SINGLE ROMLOCK SIDES
 - NOT USED
 - NOT USED

| QUANTITY | LABEL | SIZE | REMARKS |
|----------|-------|-----------------|---------------|
| 4 | W1 | 12'-0" X 12'-0" | SHINGLE TRUSS |
| 1 | W2 | 12'-0" X 12'-0" | SHINGLE TRUSS |
| 1 | W3 | 12'-0" X 12'-0" | SHINGLE TRUSS |
| 1 | W4 | 12'-0" X 12'-0" | SHINGLE TRUSS |
| 1 | W5 | 12'-0" X 12'-0" | SHINGLE TRUSS |
| 1 | W6 | 12'-0" X 12'-0" | SHINGLE TRUSS |
| 1 | W7 | 12'-0" X 12'-0" | SHINGLE TRUSS |
| 1 | W8 | 12'-0" X 12'-0" | SHINGLE TRUSS |

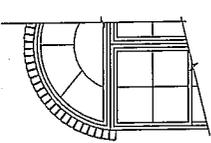


C ACCENT BRICK DETAIL
SCALE: NO SCALE

F CASING BEAD DETAIL
SCALE: NO SCALE



A ACCENT BRICK SPACING
SCALE: NO SCALE



B ACCENT BRICK DETAIL
SCALE: NO SCALE

APPLETREE CONDOMINIUMS

APPLETON, WI Project Number

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Sheet Title
EXTENSIVE ELEVATIONS
SIDE & REAR

CU 4.1BC

23 ✓

Exhibit G

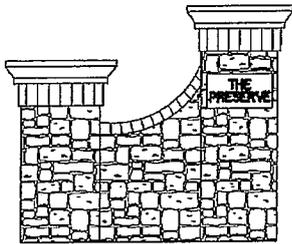
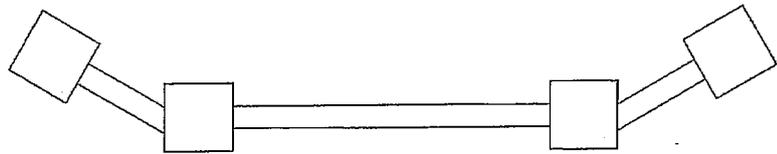
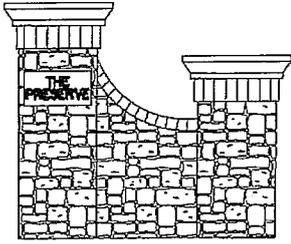
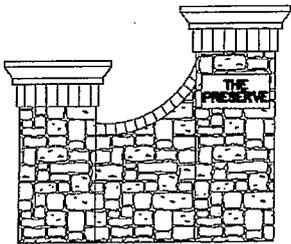


Exhibit H



GENERAL ORDINANCE NO. 21-13

AN ORDINANCE
AMENDING SECTION 29.208,
GREEN BAY MUNICIPAL CODE,
RELATING TO PARKING REGULATIONS

THE COMMON COUNCIL OF THE CITY OF GREEN BAY DOES ORDAIN AS FOLLOWS:

SECTION 1. Section 29.208, Green Bay Municipal Code, is hereby amended by adding thereto the following NO STOPPING OR STANDING 10:00 PM – Midnight FRIDAY and Midnight - 3:00 AM SATURDAY AND SUNDAY zone:

BROADWAY, east side, from Third Street to a point 325 feet north of Third Street

SECTION 2. Section 29.208, Green Bay Municipal Code is hereby amended by adding thereto the following NO PARKING TAXI LOADING ONLY 12:00 AM – 3:00 AM SATURDAY AND SUNDAY zone:

WASHINGTON STREET, east side, from a point 100 feet south of Doty Street to Doty Street

SECTION 3. All ordinances, or parts of ordinances, in conflict herewith are hereby repealed.

SECTION 4. This ordinance shall take effect on and after its passage and publication.

Dated at Green Bay, Wisconsin this _____ day of _____, 2013.

APPROVED:

Mayor

ATTEST:

Clerk

bc

11/19/13

GENERAL ORDINANCE NO. 22-13

AN ORDINANCE
AMENDING CHAPTER 6 AND CHAPTER 33,
GREEN BAY MUNICIPAL CODE,
RELATING TO FEE INCREASES FOR
CERTAIN LICENSES

THE COMMON COUNCIL OF THE CITY OF GREEN BAY DOES ORDAIN AS FOLLOWS:

SECTION 1. Section 6.21(2)(a), Green Bay Municipal Code, regarding a fee for a public vehicle license is hereby repealed and recreated as follows:

(2) PUBLIC VEHICLE LICENSE.

(a) Requirement. All public vehicles shall be licensed pursuant to this section and properly registered through the Wisconsin Department of Transportation. The annual license fee for each vehicle shall be ~~\$20~~ **\$25**. Such license shall terminate on December 31 annually, unless sooner revoked or suspended.

SECTION 2. Section 6.21(6)(b)2., Green Bay Municipal Code, regarding an operator's license is hereby repealed and recreated as follows:

(6) OPERATOR'S LICENSE. No person shall operate a public vehicle without first obtaining an Operator's License from the City of Green Bay. All applicants must be at least 18 years old and hold a valid Wisconsin driver's license. All public vehicle operators must obtain an operator's license within 90 days of the effective date of this ordinance.

(b) Applications.

2. (Amd. GO 27-07) The license fee shall be ~~\$40.00~~ **\$50.00** and shall be submitted with the application along with a passport-sized photo. Public vehicle operators employed in that capacity by bona fide non-profit organizations shall be exempt from paying the above license fee.

SECTION 3. Section 33.05(7), Green Bay Municipal Code, regarding the fee for liquor licenses is hereby repealed and recreated as follows:

(7) Operator's License. ~~\$40.00~~ **\$50.00** (Two-Year License).

SECTION 4. All ordinances, or parts of ordinances, in conflict herewith are hereby repealed.

SECTION 5. This ordinance shall take effect on January 1, 2014.

Dated at Green Bay, Wisconsin this _____ day of _____, 2013.

APPROVED:

Mayor

ATTEST:

Clerk

bc

11/19/13

GENERAL ORDINANCE NO. 23-13

AN ORDINANCE
AMENDING SECTION 27.101,
GREEN BAY MUNICIPAL CODE,
ADOPTING STATE LAW PERTAINING TO
RABIES CONTROL PROGRAM

THE COMMON COUNCIL OF THE CITY OF GREEN BAY DOES ORDAIN AS FOLLOWS:

SECTION 1. Section 27.101, Green Bay Municipal Code, is hereby amended as follows:

27.101 STATE LAWS ADOPTED. The following State Statutes are hereby adopted and incorporated as if fully set forth by reference. The penalty for a violation of these ordinances shall be as set forth in Subchapter IX of this Chapter. Any future amendments, revisions, or modifications of the Statutes incorporated herein are intended to be made part of this Code.

95.21 Rabies control program.

95.21 Rabies control program.

(1) DEFINITIONS. As used in this section:

(a) "Humane officer" means an officer appointed under s. 173.03.

(am) "Isolation facility" means a humane society shelter, veterinary hospital, municipal pound or other place specified by an officer which is equipped with a pen or cage which isolates the animal from contact with other animals.

(b) "Officer" means a peace officer, local health officer, as defined in s. 250.01 (5), humane officer, warden, an employee designated by the department or other person designated by the governing body of the county, city, village or town.

(c) "Owner" includes a person who owns, harbors, keeps or controls an animal.

(d) "Peace officer" has the meaning designated under s. 939.22 (22).

(e) "Veterinarian" has the meaning designated under s. 453.02 (7).

(em) "Veterinary technician" has the meaning designated under s. 453.02 (12).

(f) "Warden" has the meaning designated under s. 24.01 (11).

(2) RABIES VACCINATION REQUIRED FOR DOGS.

(a) *Requirement for vaccination.* Except as provided in s. 174.054 or sub. (9) (d), the owner of a dog shall have the dog vaccinated against rabies by a veterinarian or, if a veterinarian is physically present at the location the vaccine is administered, by a veterinarian technician, pursuant to s. 453.05 (2) (d), at no later than 5 months of age and revaccinated within one year after the initial vaccination. If the owner obtains the dog or brings the dog into this state after the dog has reached 5 months of age, the owner shall have the dog vaccinated against rabies within 30 days after the dog is obtained or brought into the state unless the dog has been vaccinated as evidenced by a current certificate of rabies vaccination from this state or another state. The owner of a dog shall have the dog revaccinated against rabies by a veterinarian or, if a veterinarian is physically present at the location the vaccine is administered, by a veterinary technician, pursuant to s. 453.05 (2) (d), before the date that the immunization expires as stated on the certificate of vaccination or, if no date is specified, within 3 years after the previous vaccination.

(b) *Issuance of certificate of rabies vaccination.* The person who administers the vaccine under par. (a) shall complete and issue to the owner a certificate of rabies vaccination bearing a serial number and in the form approved by the department stating the owner's name and address, the name, sex, spayed or unspayed, neutered or unneutered, breed and color of the dog, the date of the vaccination, the type of rabies vaccine administered and the manufacturer's serial number, the date that the immunization expires as specified for that type of vaccine by the center for disease control of the U.S. department of health and human services and the city, village or town where the dog is required to be licensed.

(c) *Copies of certificate.* The veterinarian shall keep a copy of each certificate of rabies vaccination in a file maintained for this purpose until the date that the immunization expires or until the dog is revaccinated whichever occurs first.

(e) *Rabies vaccination tag.* After issuing the certificate of rabies vaccination, the person who administers the vaccine under par. (a) shall deliver to the owner a rabies vaccination tag of durable material bearing the same serial number as the certificate, the year the vaccination was given and the name, address and telephone number of the supervising veterinarian.

(f) *Tag to be attached.* The owner shall attach the rabies vaccination tag or a substitute tag to a collar and a collar with the tag attached shall be kept on the dog at all times but this requirement does not apply to a dog during competition or training, to a dog while hunting, to a dog securely confined indoors, to a dog securely confined in a fenced area or to a dog while actively involved in herding or controlling livestock if the dog is under the control of its owner. The substitute tag shall be of a durable material and contain the same information as the rabies vaccination tag. The requirements of this paragraph do not apply to a dog which is not required to be vaccinated under sub. (2) (a).

(g) *Duplicate tag.* The person who administers the vaccine under par. (a) may furnish a new rabies vaccination tag with a new serial number to an owner in place of the original tag upon presentation of the certificate of rabies vaccination. The person who administers the vaccine under par. (a) shall then indicate the new tag number on the certificate and keep a record in the file.

(h) *Cost.* The owner shall pay the cost of the rabies vaccination and the cost associated with the issuance of a certificate of rabies vaccination and the delivery of a rabies vaccination tag.

(3) DISTRICT QUARANTINE.

(a) *Dogs confined.* If a district is quarantined for rabies, all dogs within the district shall be kept securely confined, tied, leashed or muzzled. Any dog not confined, tied, leashed or muzzled is declared a public nuisance and may be impounded. All officers shall cooperate in the enforcement of the quarantine. The clerk of every town, city or village wholly or partly within the quarantine district shall promptly post in at least 3 public places in the town, city or village, notices of quarantine furnished by the department for posting.

(b) *Exemption of vaccinated dog from district quarantine.* A dog which is immunized currently against rabies as evidenced by a valid certificate of rabies vaccination or other evidence is exempt from the district quarantine provisions of par. (a) if a rabies vaccination tag or substitute tag is attached to the dog's collar.

(4) QUARANTINE OR SACRIFICE OF AN ANIMAL SUSPECTED OF BITING A PERSON OR BEING INFECTED OR EXPOSED TO RABIES.

(a) *Quarantine or sacrifice of dog or cat.* Except as provided in par. (d), an officer shall order a dog or cat quarantined if the officer has reason to believe that the animal bit a person, is infected with rabies or has been in contact with a rabid animal. If a quarantine cannot be imposed because the dog or cat cannot be captured, the officer may kill the animal. The officer may kill a dog or cat only as a last resort or if the owner agrees. The officer shall attempt to kill the animal in a humane manner and in a manner which avoids damage to the animal's head.

(b) *Sacrifice of other animals.* An officer may order killed or may kill an animal other than a dog or cat if the officer has reason to believe that the animal bit a person or is infected with rabies. Except as provided in s. 95.36, if an animal of a species raised primarily to produce food for human consumption is killed under this paragraph, the owner is eligible for an indemnity payment in an amount equal to the indemnity provided under s. 95.31 (3). If the decision is made by an employee of the department, the indemnity shall be paid from the appropriation under s. 20.115 (2) (b). If the decision is made by another officer, the indemnity shall be paid from the dog license fund.

(c) *Sacrifice of a dog or cat.* An officer may order killed or may kill a dog or cat if the owner of the dog or cat violates sub. (5) (a), (b) or (c).

(d) *Exception for law enforcement dogs.*

1. In this paragraph, "law enforcement agency" has the meaning given in s. 165.83 (1) (b).

2. The quarantine requirement in par. (a) does not apply to a dog that is used by a law enforcement agency and that bites a person while the dog is performing law enforcement functions if the dog is immunized against rabies as evidenced by a valid certificate of rabies vaccination or other evidence. The law enforcement agency shall have the dog examined by a veterinarian on the day of the incident or the next day, on the 10th day after the incident, and on one intervening day. The law enforcement agency shall ensure that the dog is confined when not performing law enforcement functions until the 3rd examination has been performed.

(5) QUARANTINE OF DOG OR CAT.

(a) *Delivery to isolation facility or quarantine on premises of owner.* An officer who orders a dog or cat to be quarantined shall deliver the animal or shall order the animal delivered to an isolation facility as soon as possible but no later than 24 hours after the original order is issued or the officer may order the animal to be quarantined on the premises of the owner if the animal is immunized currently against rabies as evidenced by a valid certificate of rabies vaccination or other evidence. If an officer delivers a dog or orders a dog to be delivered to an isolation facility and the dog is exempt from the requirement to be vaccinated against rabies under sub. (9) (d), the owner of the dog may choose an isolation facility that is a veterinary hospital.

(b) *Health risk to humans.* If a dog or cat is ordered to be quarantined because there is reason to believe that the animal bit a person, the custodian of an isolation facility or the owner shall keep the animal under strict isolation under the supervision of a veterinarian for at least 10 days after the incident occurred. In this paragraph, "supervision of a veterinarian" includes, at a minimum, examination of the animal on the first day of isolation, on the last day of isolation and on one intervening day. If the observation period is not extended and if the veterinarian certifies that the dog or cat has not exhibited any signs of rabies, the animal may be released from quarantine at the end of the observation period.

(c) *Risk to animal health.*

1. If a dog or cat is ordered to be quarantined because there is reason to believe that the animal has been exposed to a rabid animal and if the dog or cat is not currently immunized against rabies, the custodian of an isolation facility or the owner shall keep the animal leashed or confined for 180 days. The owner shall have the animal vaccinated against rabies between 155 and 165 days after the exposure to a rabid animal, unless the animal is exempt from the requirement to be vaccinated against rabies under sub. (9) (d).

2. If a dog or cat is ordered to be quarantined because there is reason to believe that the animal has been exposed to a rabid animal but if the dog or cat is immunized against rabies, the custodian of an isolation facility or the owner shall keep the animal leashed or confined for 60 days. The owner shall have the animal revaccinated against rabies as soon as possible after exposure to a rabid animal.

(d) *Sacrifice of a dog or cat exhibiting symptoms of rabies.* If a veterinarian determines that a dog or cat exhibits symptoms of rabies during the original or extended observation period, the veterinarian shall notify the owner and the officer who ordered the animal quarantined and the officer or veterinarian shall kill the animal in a humane manner and in a manner which avoids damage to the animal's head. If the dog or cat is suspected to have bitten a person, the veterinarian shall notify the person or the person's physician.

(6) DELIVERY OF CARCASS; PREPARATION; EXAMINATION BY LABORATORY OF HYGIENE. An officer who kills an animal shall deliver the carcass to a veterinarian or local health department, as defined in s. 250.01 (4). The veterinarian or local health department shall prepare the carcass, properly prepare and package the head of the animal in a manner to minimize deterioration, arrange for delivery by the most expeditious means feasible of the head of the animal to the state laboratory of hygiene and dispose of or arrange for the disposal of the remainder of the carcass in a manner which minimizes the risk of exposure to any rabies virus. The laboratory of hygiene shall examine the specimen and determine if the animal was infected with rabies. The state laboratory of hygiene shall notify the department, the veterinarian or local health department which prepared the carcass and, if the animal is suspected to have bitten a person, that person or that person's physician.

(7) COOPERATION OF VETERINARIAN. Any practicing veterinarian who is requested to be involved in the rabies control program by an officer is encouraged to cooperate in a professional capacity with the department, the laboratory of hygiene, the local health department, as defined in s. 250.01 (4), the officer involved and, if the animal is suspected to have bitten a person, the person's physician.

(8) RESPONSIBILITY FOR QUARANTINE AND LABORATORY EXPENSES. The owner of an animal is responsible for any expenses incurred in connection with keeping the animal in an isolation facility, supervision and examination of the animal by a veterinarian, preparation of the carcass for laboratory examination and the fee for the laboratory examination. If the owner is unknown, the county is responsible for these expenses.

(9) LOCAL PROGRAMS.

(a) This section does not prohibit or restrict a county, city, village or town from imposing a rabies control program with more restrictive provisions.

(b) This section does not prohibit a county, city, village or town from imposing its own rabies control program if the department approves the program. The department may not approve a program unless it provides for at least 2 examinations of the quarantined animal by a veterinarian or a trained individual with veterinarian involvement during a 10-day isolation period. The department shall promulgate rules establishing criteria for the approval of programs under this paragraph and defining "trained individual" and "veterinarian involvement".

(c) The department may provide training to persons who administer local rabies control programs or who conduct rabies examinations under those programs. The department may charge fees to cover the cost of training. The fees collected under this paragraph shall be credited to the appropriation under s. 20.115 (2) (j).

(d) A city, village, or town may exempt the owner of a dog from the requirement to have the dog vaccinated against rabies for a year based on a letter from a veterinarian stating that vaccination is inadvisable because of a reaction to a previous vaccination, a physical condition, or a regimen of therapy that the dog is undergoing. The city, village, or town shall require the owner to provide a new letter for each year in which the owner seeks an exemption under this paragraph.

(10) PENALTIES.

(a) *Failure to obtain rabies vaccination.* An owner who fails to have a dog vaccinated against rabies as required under sub. (2) (a) may be required to forfeit not less than \$50 nor more than \$100.

(b) *Refusal to comply with order or quarantine.* An owner who refuses to comply with an order issued under this section to deliver an animal to an officer, isolation facility or veterinarian or who does not comply with the conditions of an order that an animal be quarantined shall be fined not less than \$100 nor more than \$1,000 or imprisoned not more than 60 days or both.

(c) *Other violation.* A person who violates any provision of this section not specified under pars. (a) and (b) may be required to forfeit up to \$50.

SECTION 2. All ordinances or parts of ordinances, in conflict herewith are hereby repealed.

SECTION 3. This ordinance shall take effect on and after its passage and publication.

Dated at Green Bay, Wisconsin this _____ day of _____, 2013.

APPROVED:

Mayor

ATTEST:

Clerk

JLM:bc

11/19/13

ZONING ORDINANCE NO. 16-13

AN ORDINANCE
AMENDING ZONING ORDINANCE NO. 14-05
FOR NORTHEAST WISCONSIN TECHNICAL COLLEGE
CAMPUS PLANNED UNIT DEVELOPMENT
TO PERMIT EDUCATIONAL USES AND
THE DEVELOPMENT OF STUDENT HOUSING
(2740 WEST MASON STREET)
(ZP 13-35)

THE COMMON COUNCIL OF THE CITY OF GREEN BAY DOES ORDAIN AS FOLLOWS:

SECTION 1. Section 13-108, Green Bay Municipal Code, together with the zoning map referred to therein, is hereby amended by modifying a Planned Unit Development (PUD) District on the following described property:

Tax Parcel Number 6H-1136: SW1/4 NW1/4 SEC 29 T24N R20E EX 750 R 391 & EX RD

Tax Parcel Number 6H-1098: LOTS 3, 4, 5 & 6 SEC 29 T24N R20E EX RD

Tax Parcel Number 6H-1067: LOT E SEC 20 T24N R20E EX 12 CSM 285 & EX RD

Tax Parcel Number 6H-1067-1: LOT 1 OF 12 CSM 285 BNG PRT OF LOT E SEC 20 T24N R20E

Tax Parcel Number 6H-1065-1: W 983.40 FT OF N 429 FT OF LOT C SEC 20 T24N R20E

Tax Parcel Number 6H-1056: LOTS 10 & C SEC 20 T24N R20 E EX W 983.40 FT OF N 429 FT OF LOT C

Tax Parcel Number 6H-1054: WLY 550 FT OF LOTS 8, 11, 12 & 13 SEC 20 T24N R20E EX OUTLOT 1 OF 3 CSM 291

Tax Parcel Number 6H-1135: NE1/4 NW1/4 SEC 29 T24N R20E EX PRT IN 750 R 391

Tax Parcel Number 6H-1134: NW1/4 NE1/4 SEC 29 T24N R20E EX 371 D 488 & EX 750 R 391

Tax Parcel Number 6H-1102: OUTLOT 1 IN 3 CSM 285 BNG PRT OF LOT 7
SEC 29 T24N R20E

Tax Parcel Number 6H-1748: FIRST ADDN TO PACKERLAND WLY 146 FT
OF LOT 45 EX J12501-43

Tax Parcel Number 6H-1749: FIRST ADDN TO PACKERLAND LOT 46 &
PRT OF VAC RD ADJ SLY EX PRT FOR RD

Tax Parcel Number 6H-1750: FIRST ADDN TO PACKERLAND LOT 47 &
PRT OF VAC RD ADJ SLY

Tax Parcel Number 6H-1751: FIRST ADDN TO PACKERLAND LOT 48 &
PRT OF VAC RD ADJ SLY

Tax Parcel Number 6H-1752: FIRST ADDN TO PACKERLAND LOT 49 &
PRT OF VAC RD ADJ SLY

Tax Parcel Number 6H-1753: FIRST ADDN TO PACKERLAND LOT 50 &
PRT OF VAC RD ADJ SLY

Tax Parcel Number 6H-1754: FIRST ADDN TO PACKERLAND LOT 51 EX
RD & PRT OF VAC FRONTAGE RD

All that part of Lots 1 and 2 of Certified Survey Map 1353 and Outlot 1 of
Certified Survey Map 2364 as recorded in the Recorders Office for Brown
County, Wisconsin, more fully described as follows:

Beginning at the southwest corner of said Outlot 1; thence North 00°12'51" West
along the west line of said Outlot 1, 159.70 feet; thence North 47°54'08" East
along the northwesterly lines of said Outlot 1 and also said Lot 1, 486.19 feet;
thence South 68°27'30" East along the north line of said Lot 1, 200.00 feet; thence
South 21°32'30" West, 80.00 feet; thence South 44°47'20" West, 478.10 feet to
the south line of said Outlot 1; thence North 89°31'00" West along said south line
of Outlot 1, 180.00 feet to the Point of Beginning.

Containing 132,359 square feet (3.0386 acres) more or less.
Subject to survey verification.

SECTION 2. Pursuant to Section 13-1900, et seq., Green Bay Municipal Code, as they apply, the following conditions are imposed:

A. Scope and Subject Area.

Northeast Wisconsin Technical College (NWTC) is a two-year technical college serving Northeast Wisconsin by providing education, training, and life-long learning opportunities for individuals and businesses leading to the development of a skilled workforce.

It is the intent of this ordinance to allow for the continued growth of the campus in an orderly fashion in consideration of surrounding properties consistent with the Wisconsin State Technical College System.

Consistent with the objectives of the College, there is a current opportunity for the development of a higher density residential dormitory to be located on the campus to serve the needs of the students.

Exhibit A depicts the current NWTC campus boundary and the core campus limits.

B. Permitted Uses.

1. Principal Uses. The permitted principal uses include the following:

- a. Educational use as permitted under the Wisconsin State Technical College System.
- b. Uses as allowed within the General Commercial (C1) District.
- c. Options for Independent Living as approved under ZO 1-98 (ZP 1144) and as amended under ZO 4-12 (ZP 12-20).
- d. The Green Bay Botanical Gardens.
- e. Business Incubator in partnership with the College.
- f. Health Clinics in partnership with the College.

2. Residential Dormitories-Student Housing.

- a. Phase I - development of 108 residential apartment units generally compliant with Exhibit B, C, D, E, F.
- b. Architectural Design. Covered entries shall be provided on all ground-level entrances to the structure or other similar architectural entry feature shall be provided.
- c. All exterior building materials shall be of a durable nature and shall blend to complement the overall design of the structure.
- d. All rooftop and ground level mechanical equipment shall be screened from public view using architectural treatments consistent with the overall design of the structure.
- e. Overall design and appearance shall be consistent with Exhibit D, E, F.
- f. Dimensional Standards.
 1. No building within the development shall exceed four stories or 55 feet in height.
 2. A 25 foot side and rear yard setbacks shall be maintained excluding building and parking.
- g. Landscaping.
 1. Foundation landscaping is provided along the front, side and rear of the building facade. This would include at least a five foot wide area along the front façade from the base of the building and is to include native, hardy perennials and shrubs to complement the façade. This would exclude any entries on the building.
 2. Provide a detailed landscaping plan for the area.
 3. Accessory Uses. Accessory uses shall include all maintenance buildings, Power & Gas Distribution outdoor lab structures serving the Campus and its programs.

4. Prohibited Uses. Any use not identified by this Ordinance as a permitted principal or accessory use, or any use not determined by the Zoning Administrator to be substantially similar to a use that is permitted, shall be prohibited.

C. Dimensional Standards.

1. Height. Structures located within the campus core boundary may have an overall building height of 80 feet (measured from the average West Mason Street curb elevation) not including mechanical penthouses. Structures outside the campus core boundary may not exceed 35 feet in overall height. The exception to this requirement is the college's Burn Tower located at the Public Safety training area of the campus which may have a height of 80 feet above the elevation at the base of that structure. Student housing is excluded from this requirement.
2. Setbacks. The following setbacks shall apply as measure from property lines/right-of-way lines and shall prohibit any buildings and parking:
 - a. West Mason Street - 15 feet
 - b. Country Club Road - 25 feet
 - c. East property line – 25 feet
 - d. North property line – 50 feet

- D. Site Plan. A complete site plan shall be submitted and approved prior to any construction, change of use, or other activity that requires site plan approval under Section 13-1802, Green Bay Municipal Code.

E. Parking.

1. Shall be consistent with Sections 13-1700 and 13-1800, Green Bay Municipal Code.
2. Service, loading, and trash collection. Areas for service, loading, or trash collection shall not be visible from public rights-of-way. These functions shall be incorporated into the overall design of the building and the landscaping or may be screened in compliance with Section 13-1813, Green Bay Municipal Code.

3. Gravel or similar material may be used for drives that service the Power & Gas Distribution Field Lab.
- F. Lighting. Lighting shall be regulated as specified in Sections 13-524, 13-525, 13-527, Outdoor Lighting Regulations, Green Bay Municipal Code.
- G. Signs.
1. Except as provided herein, all signage shall be designed and installed in compliance with ZO 14-05 (ZP 05-28).
 2. Student Housing.
 - a. One monument sign is permitted not greater than 8 feet in overall height and not to exceed 80 square feet per side.
 - b. Multiple wall signs may be permitted no greater than 25 square feet per sign, not to exceed a total of 100 square feet per wall.
 - c. All other applicable sign standards shall be met compliant with Section 13-2000, Green Bay Municipal Code.
- H. Stormwater Management. A stormwater management plan, meeting the standards established by the City's Department of Public Works, shall be submitted to and approved by the City prior to the issuance of a building permit. See Chapter 30, Green Bay Municipal Code.
- I. Additional Applicable Regulations. Unless stated above, the development must comply with all other regulations of the Green Bay Municipal Code.

SECTION 3. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION 4. This ordinance shall not take effect until a public hearing is held thereon as provided by Section 13-1900, Green Bay Municipal Code, and the adoption and publication of this ordinance.

Dated at Green Bay, Wisconsin this _____ day of _____, 2013.

APPROVED:

Mayor

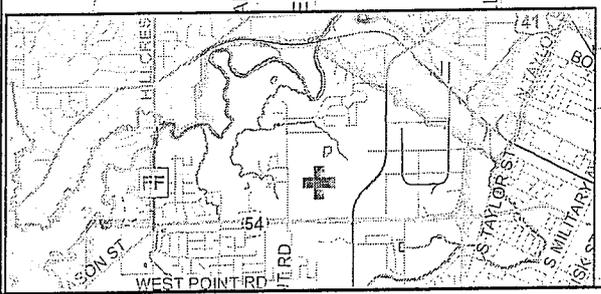
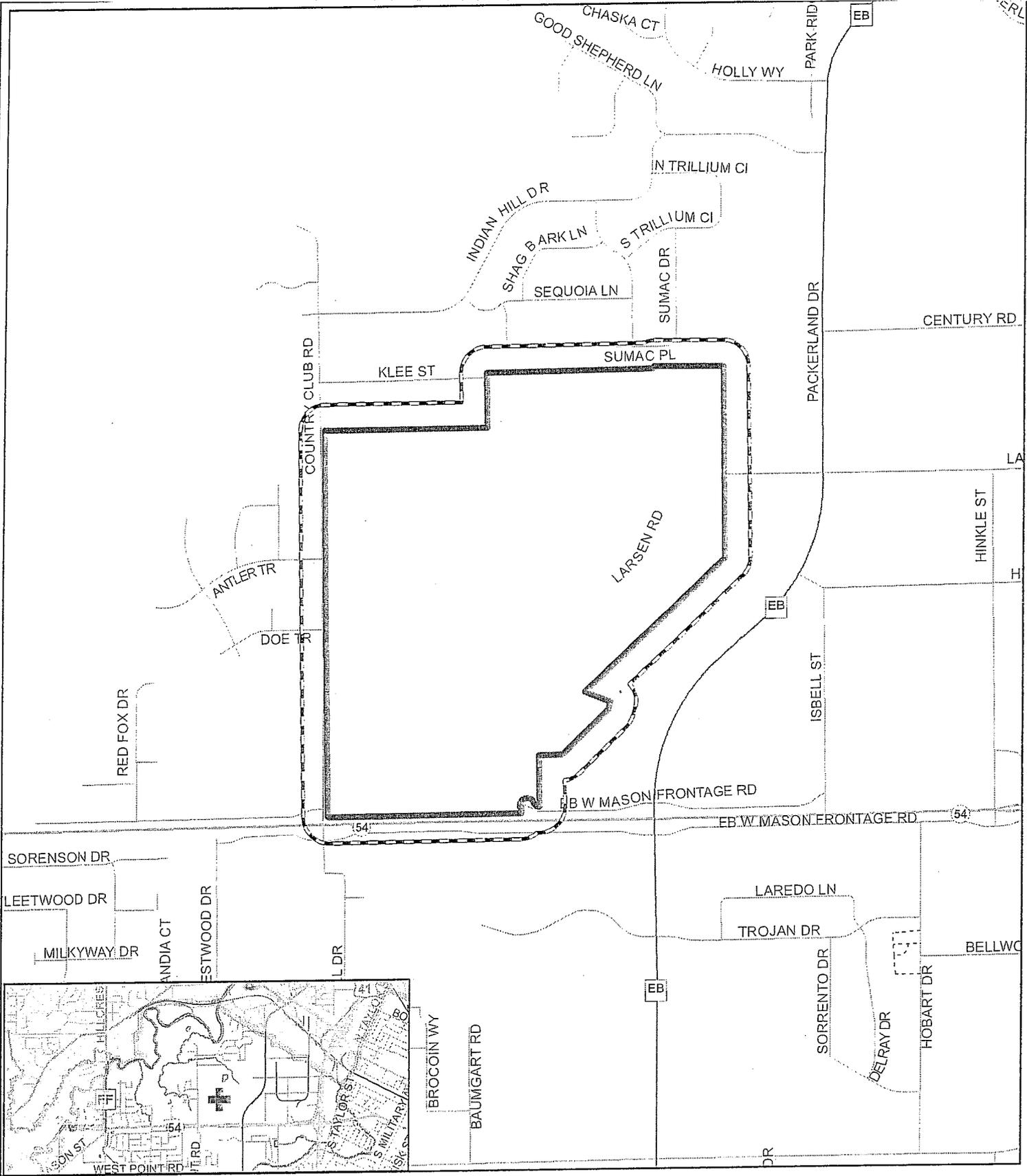
ATTEST:

Clerk

PN:bc

Attachments

11/19/13

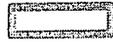


Zoning Petition (ZP 13-35)
Request to amend the Planned Unit Development (PUD) for Northeast Wisconsin
Technical College (NWTC) to address current uses on site
and a proposed student housing development on campus located at 2740 West Mason Street

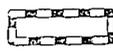
This is a compilation of records and data located in various City of Green Bay offices and is to be used for reference purposes only. City of Green Bay is not responsible for any inaccuracies or unauthorized use of the information contained within. No warranties are implied.
 Map prepared by City of Green Bay Planning Department
 PN, October 2013. \Planning\CityZPMaps\2013ZP13-35



6 113 200 Feet



Subject Area



200' Notice Area

279

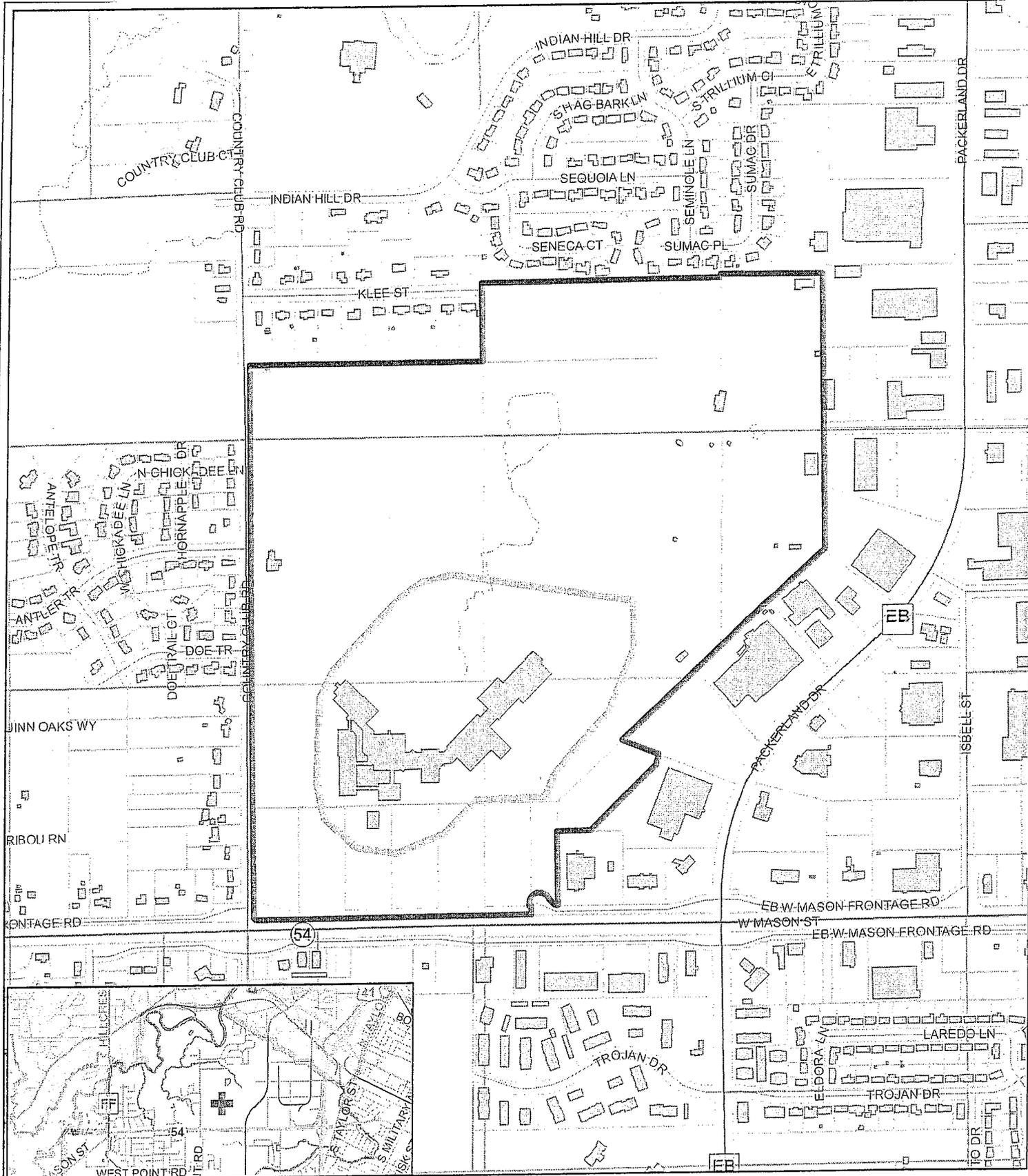
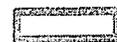


Exhibit A
Northeast Wisconsin Technical College (NWTC)
campus boundary and campus core boundary
2740 West Mason Street

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 Map prepared by City of Green Bay Planning Department.
 PN October 2013. Planning\City\ZPM\2013\ZP13-35 PUD Exhibit



0 100 200 Feet



Campus Boundary

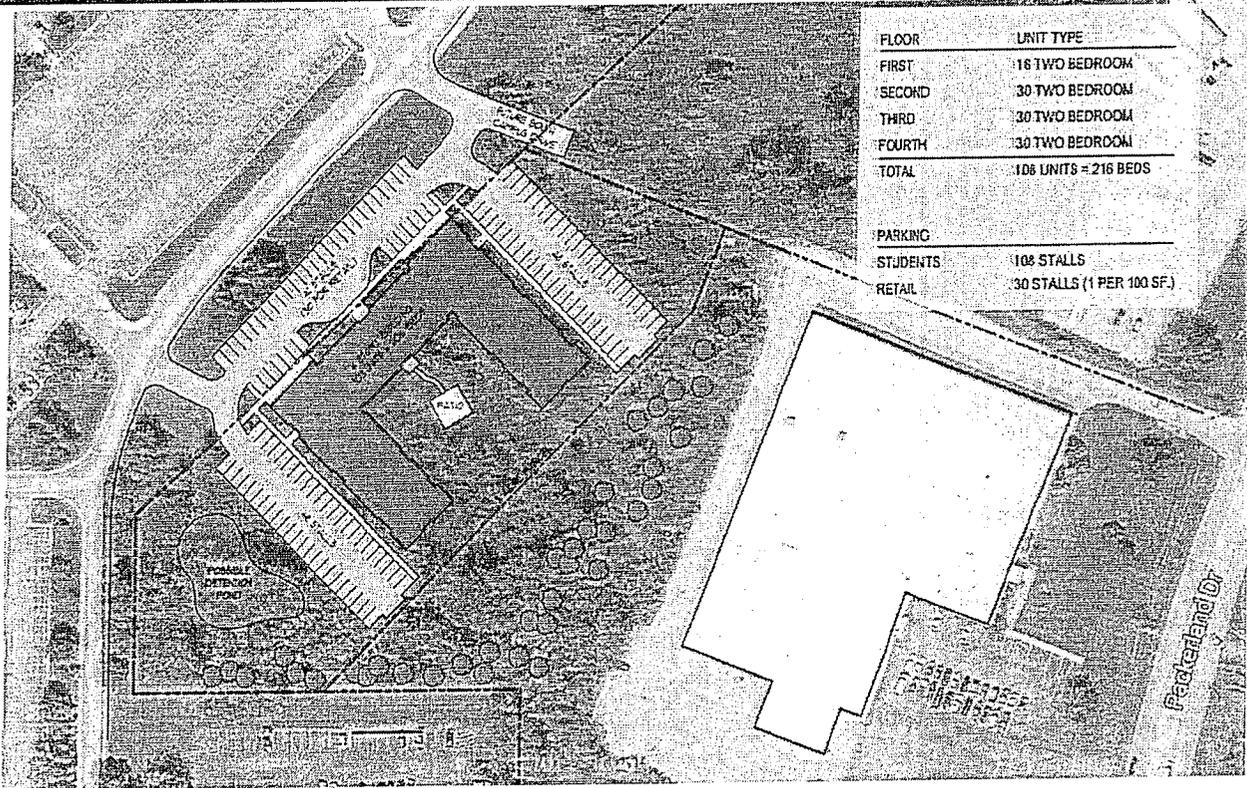


Campus Core Boundary

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NWTC STUDENT HOUSING
GREEN BAY, WISCONSIN

*Parker
Ryznar
Architects*



| FLOOR | UNIT TYPE |
|--------|----------------------|
| FIRST | 18 TWO BEDROOM |
| SECOND | 30 TWO BEDROOM |
| THIRD | 30 TWO BEDROOM |
| FOURTH | 30 TWO BEDROOM |
| TOTAL | 108 UNITS = 216 BEDS |

| PARKING | |
|----------|---------------------------|
| STUDENTS | 108 STALLS |
| RETAIL | 30 STALLS (1 PER 100 SF.) |

SITE PLAN - 1" = 80'-0"

8.22.03

Exhibit B

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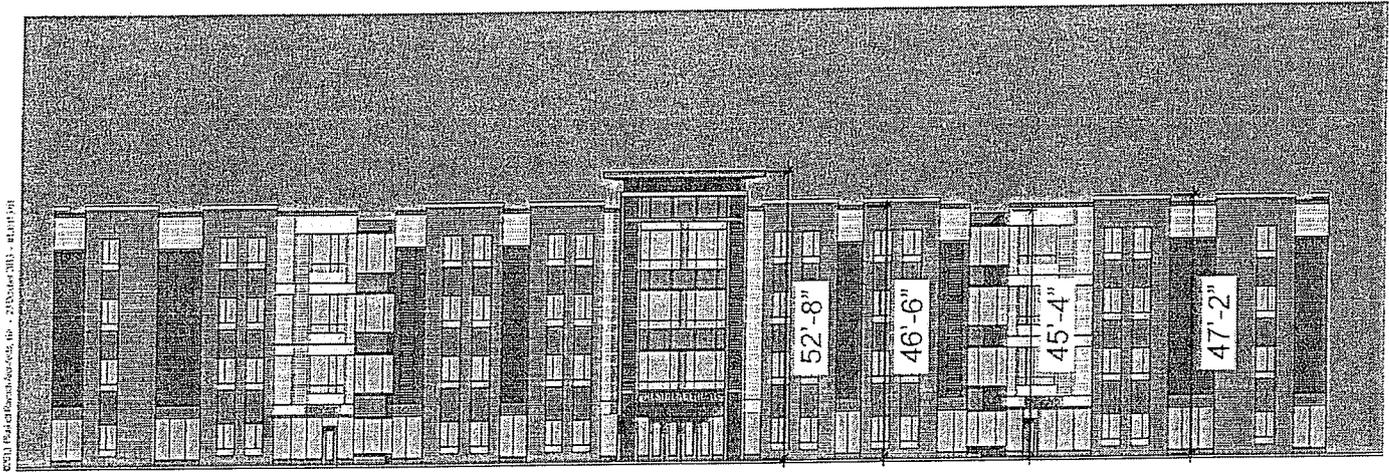
Exhibit D

27 K



Exhibit E

27 L



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Exhibit F

27 M